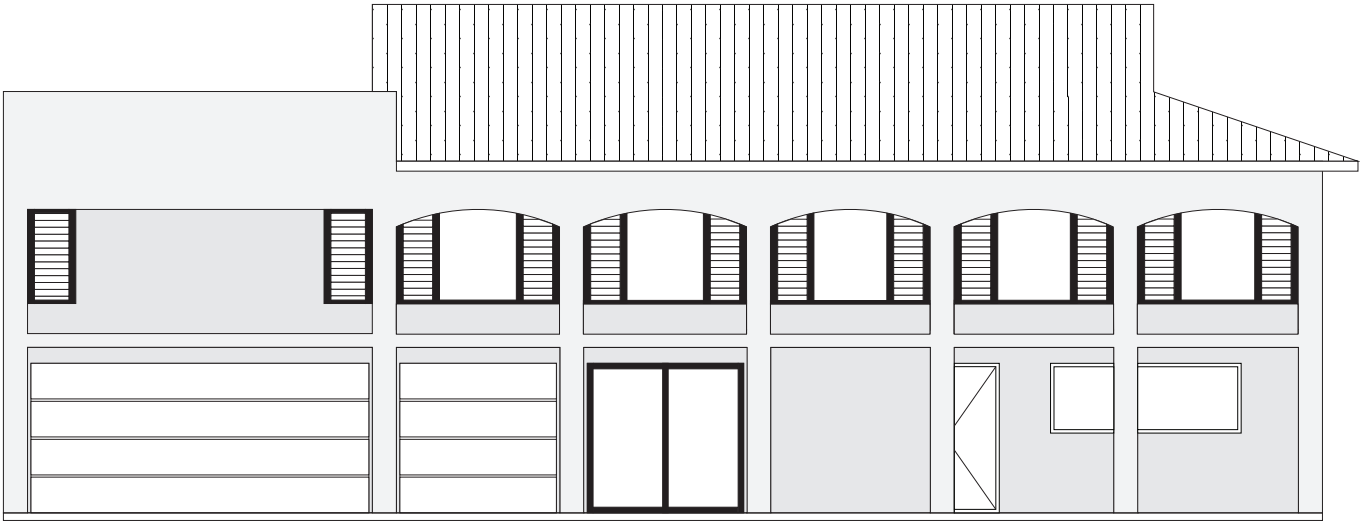


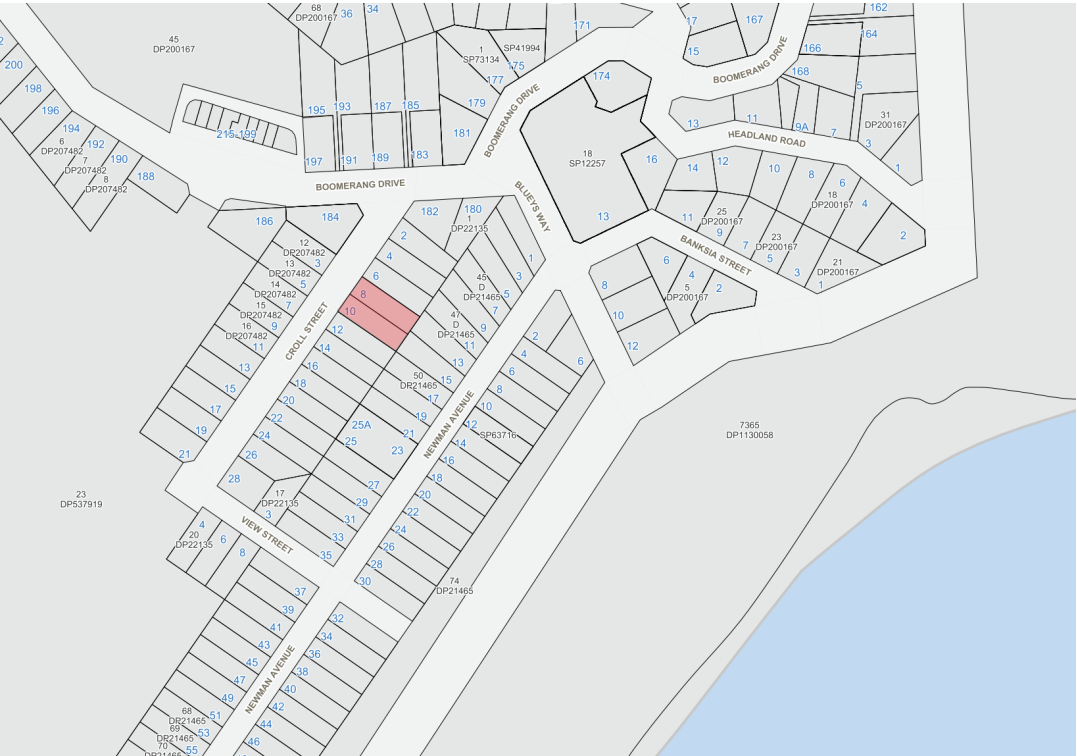
# STEVE + WENDY ELLIOT

## PROPOSED ALTERATIONS + ADDITIONS LOT 6+7 DP 22135 8-10 CROLL STREET, BLUEYS BEACH. NSW 2428

COVER PAGE	A00	FIRST FLOOR DEMO PLAN	A10
GENERAL SPECIFICATIONS	A01	SECTIONS	A11
GENERAL SPECIFICATIONS	A02	BASIX COMMITMENTS	A12
SITE PLAN	A03	NOTIFICATION PLANS	A13
SURVEY PLAN	A04	SEDIMENT CONTROL PLAN	A14
GROUND FLOOR PLAN	A05	WINDOW & DOOR SCHEDULE	A15
FIRST FLOOR PLAN	A06		
ROOF PLAN	A07		
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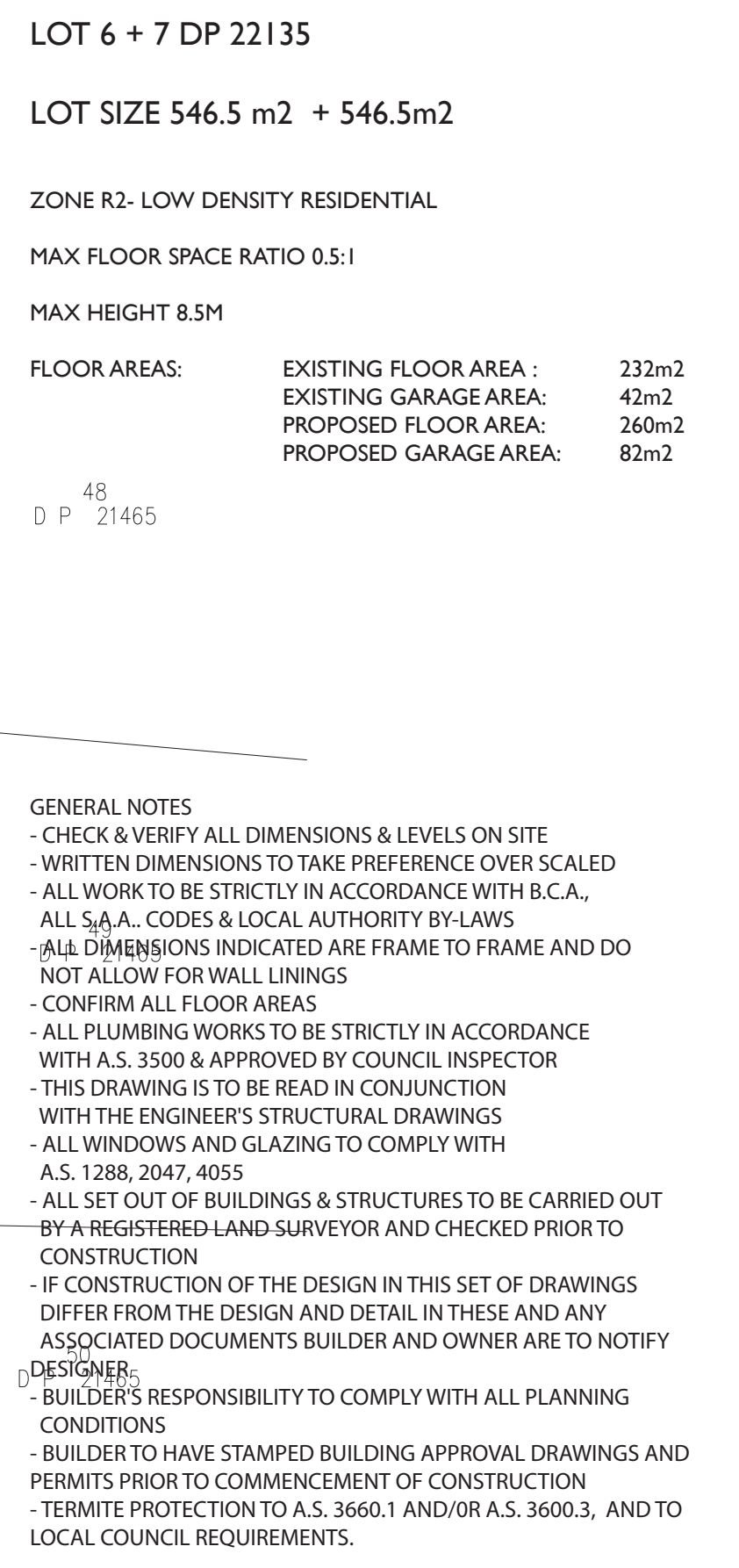
SITE DESCRIPTION:	546.5 m2 ADJOINING LOTS ON CROLL STREET, IN BLUEYS BEACH
LEP ZONE:	R2 - LOW DENSITY RESIDENTIAL
EXISTING:	2 STOREY BRICK VANEER DWELLING, LOCATED OVER 2 LOTS
PROPOSED DEVELOPMENT:	THE PROPOSED DEVELOPMENT CONSISTS OF THE DEMOLITION OF THE SECOND STOREY MASTER BED WING, BEING REBUILT TO INCLUDE THE ADDTION OF A DOUBLE GARAGE BELOW. THE EXISTING WESTERN FACING BALCONY WILL BE ENCLOSED TO ALLOW FOR THE ADDITION OF ANOTHER BEDROOM ALONG WITH INTERANL ALTERATIONS TO THE EXISTING ROOMS.
ACID SULPHATE SOIL CLASS:	5
BUSHFIRE PRONE LAND:	NO







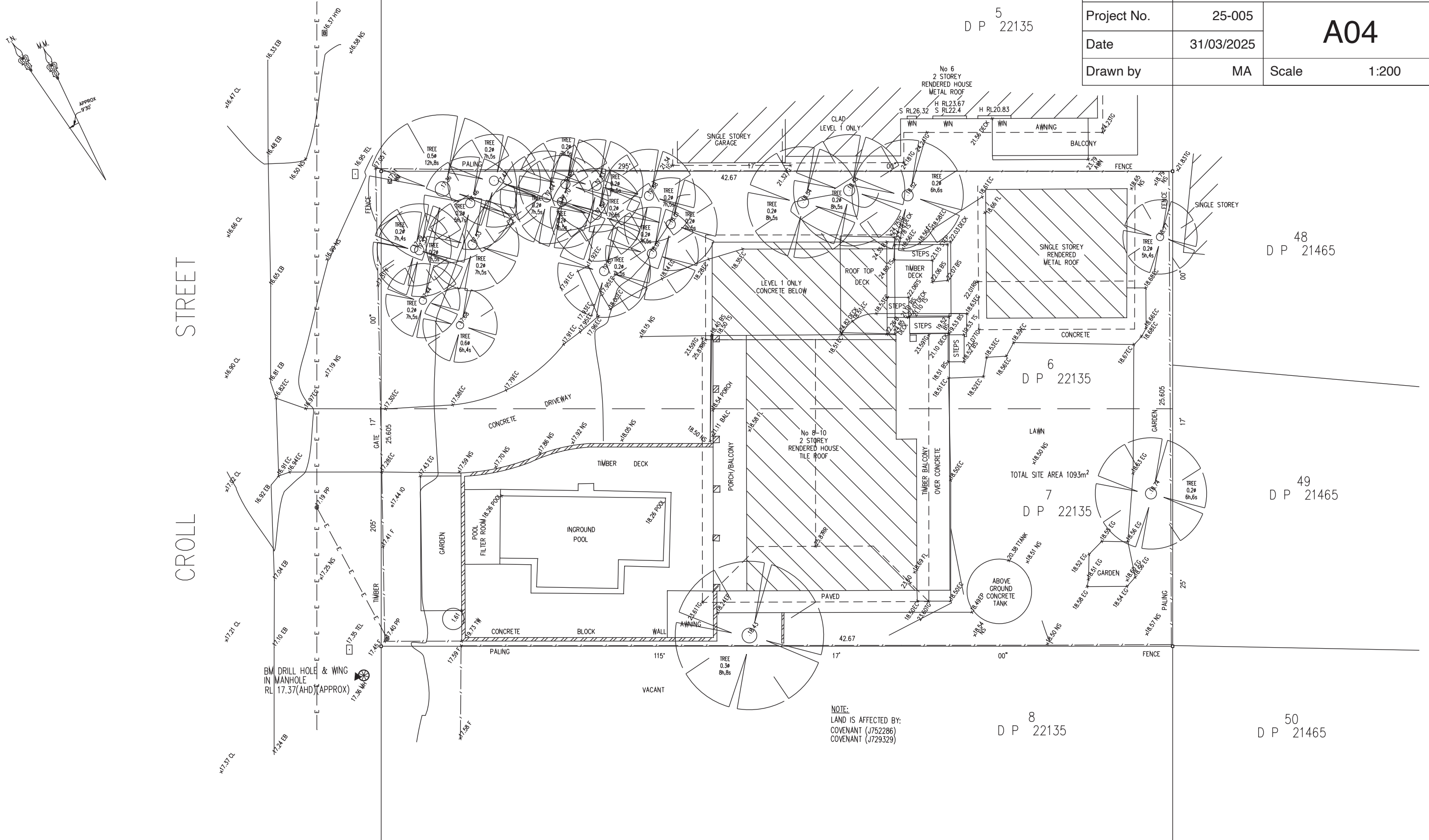




<h1 style="text-align: center;">SITE PLAN</h1>	
Project No.	25-005
Date	23/04/2025
Drawn by	RB
<h2 style="text-align: center;">A03</h2>	
Scale	1:200



Project No.	25-005	A04
Date	31/03/2025	
Drawn by	MA	Scale 1:200

[illegible]

TYPICAL NOTES:

1. ORIGIN OF LEVELS NOTE
2. BENCHMARKS ARE ON MAGNETIC NORTH
3. A SATISFACTORY SURVEY HAS BEEN UNDERTAKEN
4. BOUNDARY COORDINATES WILL BE HANDLED PRIOR TO CONSTRUCTION ACCORDING TO OR NEAR THE BOUNDARY
5. SERVICES SHOWN ARE BASED ON VISIBLE SURFACE INDICATIONS YET AT THE DATE OF SURVEY AND THE RELEVANT SERVICE DIAGRAMS OF THE VARIOUS AUTHORITIES. ALL SERVICE MUST BE VERIFIED ON SITE PRIOR TO ANY WORK BEING UNDERTAKEN. NOTICES SERVINGING VENDOR WILL BEAR NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE SERVICES SHOWN HEREON.
6. DATA PLATE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY AN INDEPENDENT METHOD AND ARE ACCURATE FOR PLANNING PURPOSES ONLY
7. ADJOINING BOUNDARIES AND DRAINAGES HAVE BEEN DERIVED FOR DATA/MANAGEMENT PURPOSES ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY
8. THE TREE CANOPY SPREAD (S) & HEIGHT (H) OF EACH TREE IS INDICATIVE ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY

SERVICES NOTES

1. ALL UNDERGROUND SERVICE INFORMATION INCLUSIVE OF GENERAL POSITION AND SURFACE COVER DEPTHS NOTED ON THE PLAN ARE APPROXIMATELY ONLY.
2. ALL UNDERGROUND SERVICE INFORMATION HAS BEEN COMPILED FROM LOCATION AUTHORITY PLANS PROVIDED BY THE AUTHORITIES.
3. THE LOCATION OF SERVICES BETWEEN SURVEYED POINTS (AS INDICATED) HAVE BEEN SHOWN DIAGRAMMATICALLY OR USING THE SERVICE DEPTHS AS PROVIDED. THE LOCATION OF THESE SERVICES BETWEEN THE SURVEYED POINTS MUST BE VERIFIED PRIOR TO ANY EXCAVATION OR PILING NO WARRANTY IS GIVEN AGAINST THE POSSIBILITY OF THE EXISTENCE OF FURTHER UNHATCHED SERVICES.
4. ALL CONTRACTORS, TRADESMEN, BUILDING & PRODUCT CONSULTANTS MUST CONTACT THE VARIOUS AUTHORITIES, IN ACCORDANCE WITH STANDARD "DIAL BEFORE YOU DIG" PROCEDURES PRIOR TO UNDERMINING ANY WORKS WITHIN THE VICINITY OF THE SERVICE LINES TO VERIFY THE POSITION OF THE SERVICE LINES.



**CLIENT:**  
**STEVE ELLIOT**

TITLE No: 6 & 7/22135  
 DATUM: AHD  
 DATE OF SURVEY: 24/03/2025  
 SURVEYOR: C.E.  
 DRAFTER: M.A.

REF:250318  
ISSUE:1  
ISSUE DATE: 31/03/2025  
SHEET SIZE:A1  
SHEET 1 OF 1 SHEETS

[illegible]

REDUCTION RATIO 1 : 100

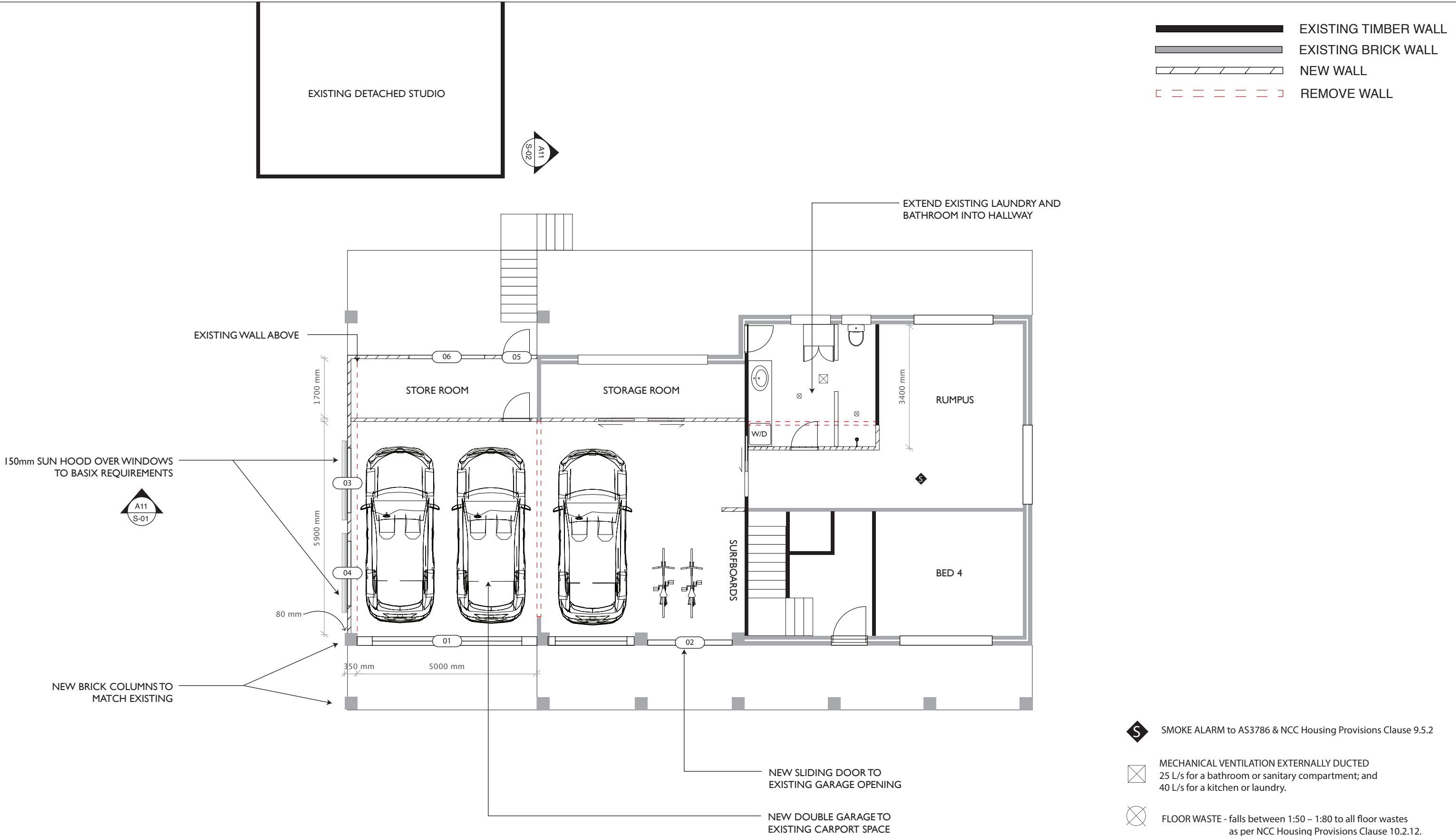
0 1 2 3 4 5 6 7 8 9 10

LENGTHS ARE IN METRES

**BOUNDARY, DETAIL & LEVEL SURVEY  
AT No 8-10 CROLL STREET,  
BLUEYS BEACH**



**MITCH AYRES SURVEYING PTY LTD**  
PO BOX 4226 LUGARNO NSW 2210  
t: 0403 277 685  
email: [mitch@mitchayressurveying.com.au](mailto:mitch@mitchayressurveying.com.au)  
web site: [www.mitchayressurveying.com.au](http://www.mitchayressurveying.com.au)



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No.	Description	Date
1	DA PLANS	23/04/2025

STEVE + WENDY ELLIOT

PROPOSED ALTERATIONS + ADDITIONS  
LOT 6 + 7 DP 22135  
8-10 CROLL ST, BLUEYS BEACH  
NSW. 2428

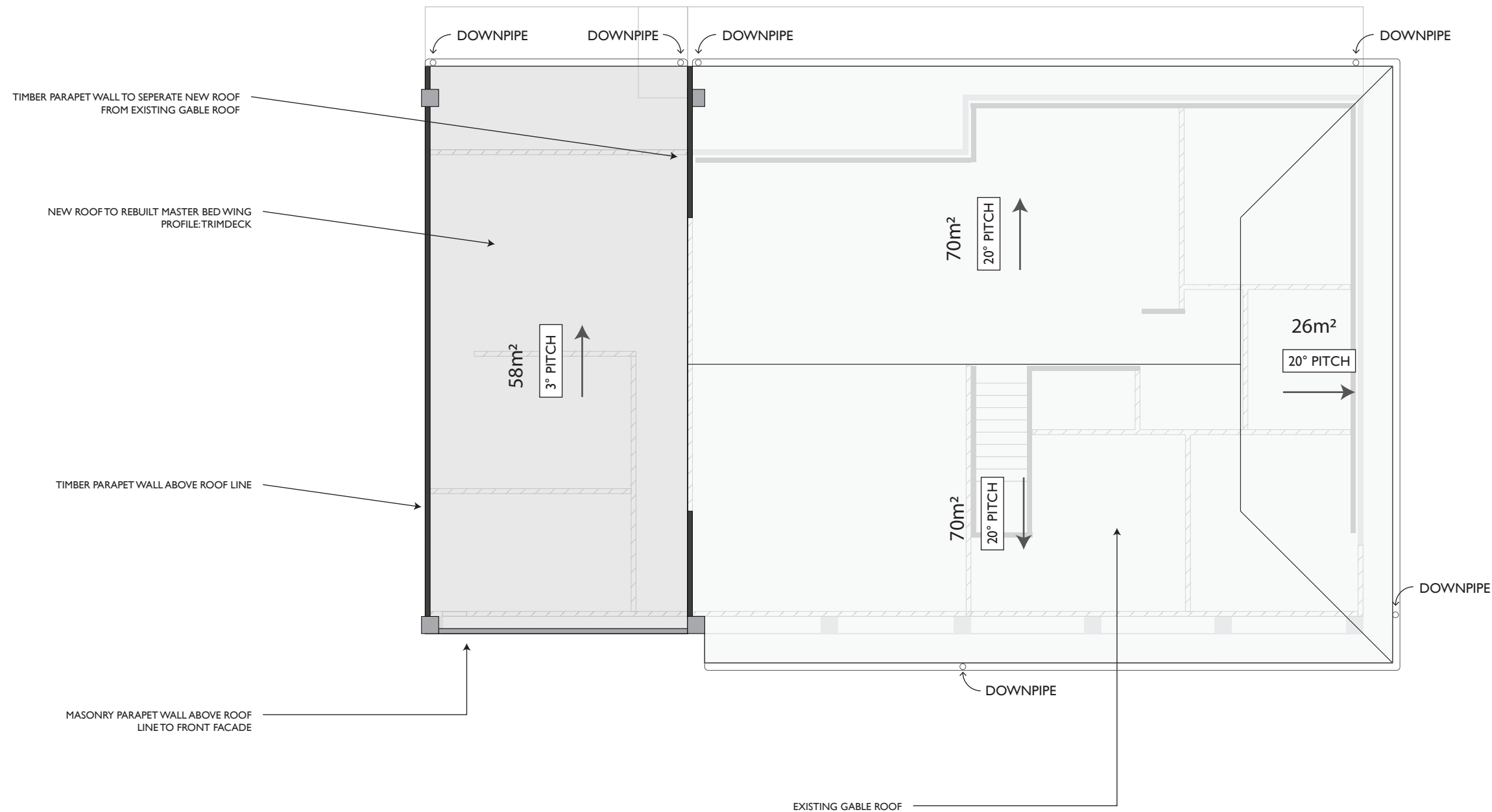
GROUND FLOOR PLAN

Project No.	25-005	A05
Date	23/04/2025	
Drawn by	RB	
Scale		1:100





- EACH DOWNPIPE TO SERVICE MAXIMUM 12m OF GUTTER & 45m² ROOF AREA
- Downpipes & Gutters to comply with NCC Housing Provisions Part 7.4
- Roof colour: medium (solar absorbance 0.48-0.59)



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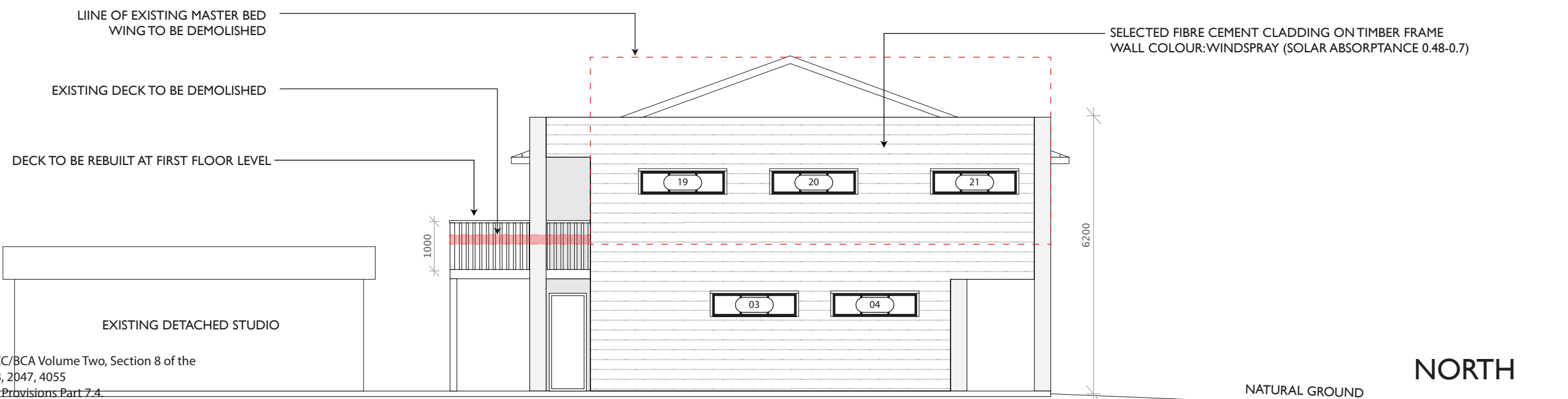
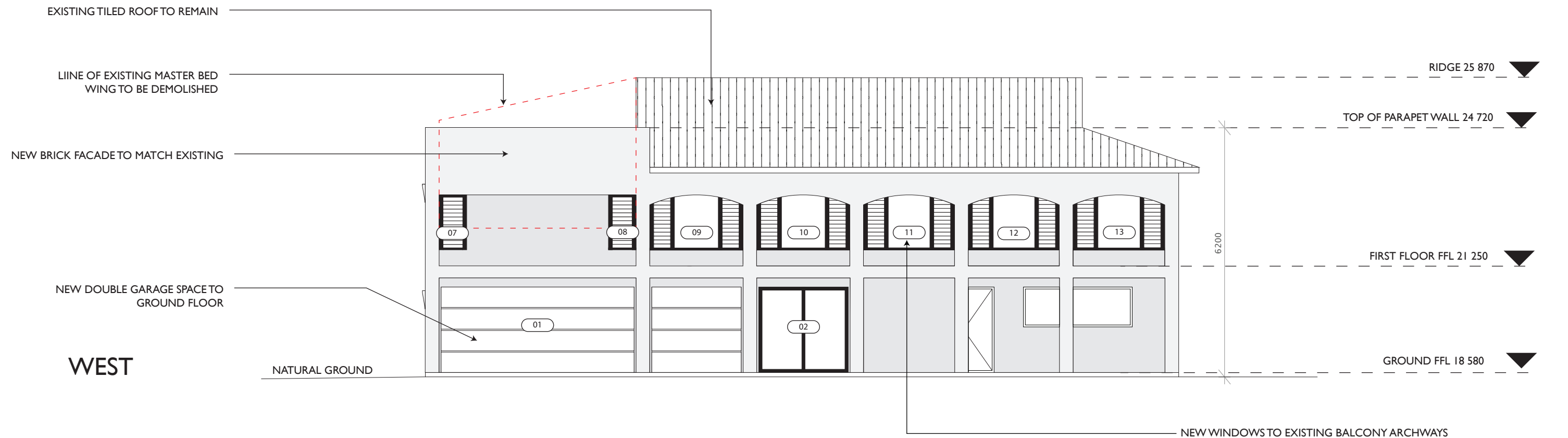
No.	Description	Date
1	DA PLANS	23/04/2025

STEVE + WENDY ELLIOT

PROPOSED ALTERATIONS + ADDITIONS  
LOT 6 + 7 DP 22135  
8-10 CROLL ST, BLUEYS BEACH  
NSW. 2428

## ROOF PLAN

Project No.	25-005	A07
Date	23/04/2025	
Drawn by	RB	Scale 1:100



## GENERAL NOTES

- Glazing in accordance with H1D8 & H2D7 of the NCC/BCA Volume Two, Section 8 of the Housing Provisions & Australian Standards AS 1288, 2047, 4055
- Downpipes & Gutters to comply with NCC Housing Provisions Part 7.4.
- Cladding material in accordance with NCC Clause H1D7 & NCC Housing Provisions Section 7 (Roof and Wall Cladding)
- Flow rate and discharge of exhaust systems calculations in accordance with NCC Housing Provisions Part 10.8 - condensation management
- Condensation management details as per BCA Housing Provisions Clause 10.8.2, (3), (4), (5)
- Provide Termite management system details/notation compliant with AS 3600.1 and/or AS 3600.3
- Wet area in accordance with H4D1, H4D2 & H4D3 of the NCC Volume Two and Part 10.2 of the Housing Provisions OR Clauses 10.2.1 to 10.2.6 & 10.2.12 and AS 3740.

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[illegible]

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PROPOSED ALTERATIONS + ADDITIONS  
LOT 6 + 7 DP 22135  
8-10 CROLL ST, BLUEYS BEACH  
NSW. 2428

## ELEVATIONS

Project No.	25-005	A08
Date	23/04/2025	
Drawn by	RB	Scale 1:100

# OUTH



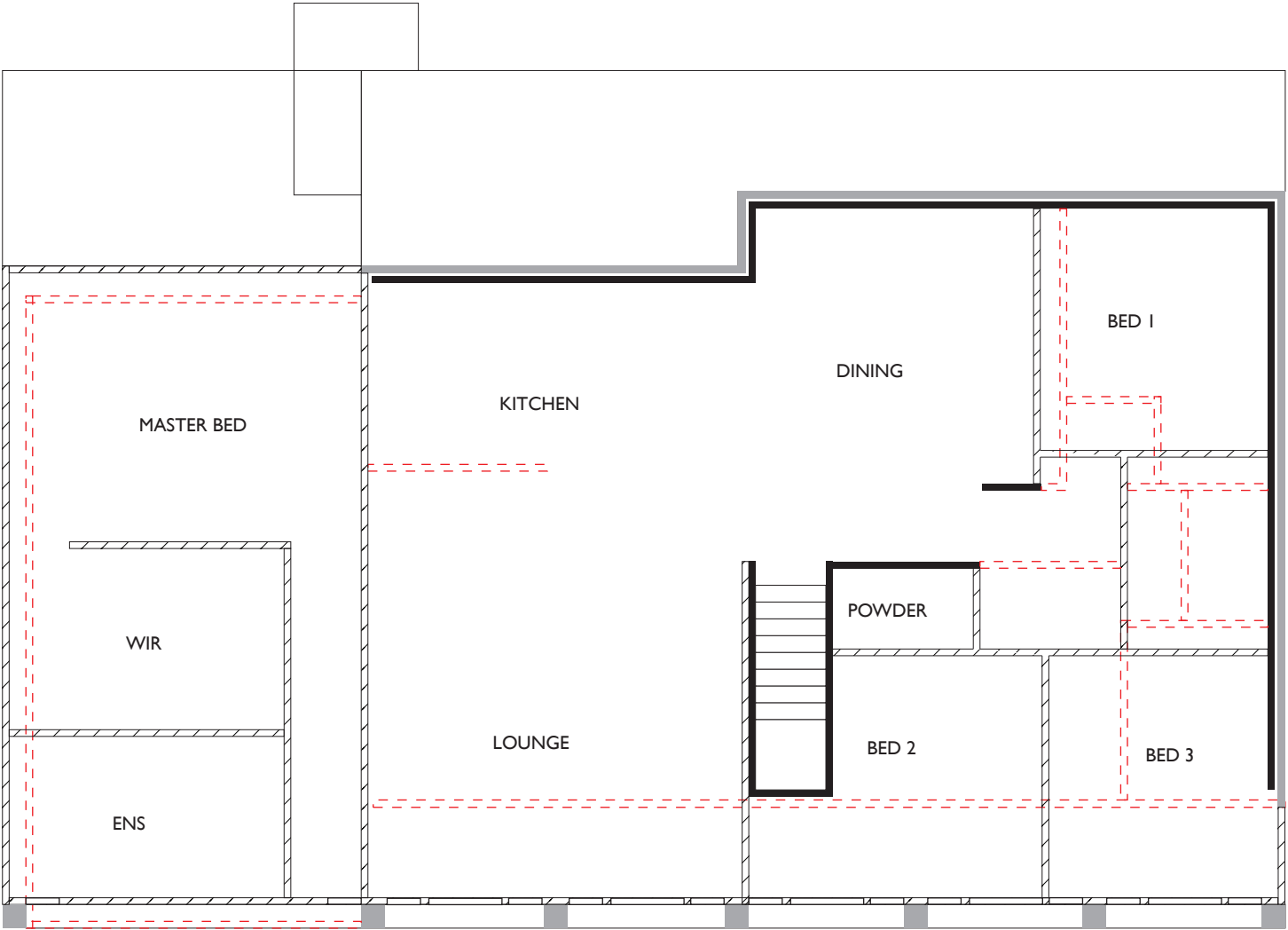
STEVE + WENDY ELLIOT

PROPOSED ALTERATIONS + ADDITIONS  
LOT 6 + 7 DP 22135  
8-10 CROLL ST, BLUEYS BEACH  
NSW. 2428

ELEVATIONS	
Project No. 25-005	A09
Date 23/04/2025	
Drawn by RB	Scale 1:100



- EXISTING TIMBER WALL
- EXISTING BRICK WALL
- NEW WALL
- REMOVE WALL



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No.	Description	Date
1	DA PLANS	23/04/2025

STEVE + WENDY ELLIOT

PROPOSED ALTERATIONS + ADDITIONS  
LOT 6 + 7 DP 22135  
8-10 CROLL ST, BLUEYS BEACH  
NSW. 2428

FIRST FLOOR DEMO PLAN

Project No.	25-005	A10
Date	23/04/2025	
Drawn by	RB	Scale 1:100

S-01

Architectural floor plan of a two-story house. The ground floor includes a Double Garage (2400mm wide), Single Garage, Entry, Lounge Room, Stair-Well, Powder Room, Hall, and Bathroom. The first floor includes a Master/Wir, Lounge Room, Stair-Well, Powder Room, Hall, and Bathroom. The plan shows structural columns, walls, and a roof section on the right.

Architectural cross-section drawing of a proposed extension to a brick house. The drawing shows a two-story structure with a gabled roof. The existing house is on the right, and the new extension is on the left. The extension has a flat roof and a concrete foundation. The interior of the extension includes a 'STORAGE ROOM' and a 'GARAGE'. The interior of the existing house includes a 'MASTER BED', 'WIR' (wardrobe), and 'ENS' (en-suite). The drawing is annotated with dimensions and labels for various structural elements.

Labels and dimensions on the right side of the drawing:

- TIMBER PARAPET WALL TO SEPARATE
- EXISTING ROOF TRUSSES
- RAFTERS TO MANUFACTURERS SPEC
- EXTEND EXISTING BRICK COLUMN
- STEEL BEAM TO ENGINEERS SPECIFICATION DESIGN TO CREATE SUN HOOD TO
- NEW 90mm TIMBER STUD FRAMED

Internal labels within the drawing:

- MASTER BED
- WIR
- ENS
- STORAGE ROOM
- GARAGE

Dimensions:

- 2400 (vertical dimension for the Master Bed area)

S-02

0400 341 103

PROPOSED ALTERATIONS + ADDITIONS  
LOT 6 + 7 DP 22135  
8-10 CROLL ST, BLUEYS BEACH  
NSW. 2428

Project No.	25-005	A11	
Date	23/04/2025		
Drawn by	RB		
		Scale	1:100

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Lighting</b>			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✔	✔
<b>Fixtures</b>			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✔	✔
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✔	✔
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✔	

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Insulation requirements</b>			
<p>The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.</p>			
<b>Construction</b>	<b>Additional insulation required (R-value)</b>	<b>Other specifications</b>	
suspended floor with open subfloor: concrete (R0.6).	R0.9 (down) (or R1.50 including construction)	N/A	
suspended floor above garage: framed (R0.7).	nil	N/A	
external wall: framed (weatherboard, fibre, metal clad)	R1.30 (or R1.70 including construction)		
internal wall shared with garage: plasterboard (R0.36)	nil		
raked ceiling, pitched/skillion roof: framed	ceiling: R2.24 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)	

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier check
<b>Windows and glazed doors</b>			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.	✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓

EXTERNAL WALL CONSTRUCTION		INSULATION		COLOUR (SOLAR ABSORPTANCE)	
FC CLADDING		R1.30 ROCKWOOL BATTS		MEDIUM	
INTERNAL WALL CONSTRUCTION		INSULATION			
PLASTERBOARD		NONE			
CEILING CONSTRUCTION		INSULATION			
PLASTERBOARD		R2.24 ROCKWOOL BATTS			
ROOF CONSTRUCTION		INSULATION		COLOUR (SOLAR ABSORPTANCE)	
COLOURBOND		55mm FOIL BACKED BLANKET		MEDIUM	
FLOOR CONSTRUCTION		INSULATION			
SUSPENDED FLOOR ABOVE OPEN SUBFLOOR		R1.5 INCLUDING CONSTRUCTION			
SUSPENDED FLOOR ABOVE GARAGE		NONE			
WINDOWS	GLASS AND FRAME TYPE	U VALUE	SHGC	DETAILS	
	ALUMINIUM FRAMED SINGLE CLEAR	7.63	0.75	ALL GLAZED WINDOWS & DOORS	
LIGHTING					
MINIMUM 40% OF LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT OR .LE.D. LAMPS					
FIXTURES					
SHOWERHEADS, MINIMUM 3 STAR RATING					
TOLIETS, MINIMUM 3 STAR RATING					
TAPS, MMINIMUM 3 STAR RATING					

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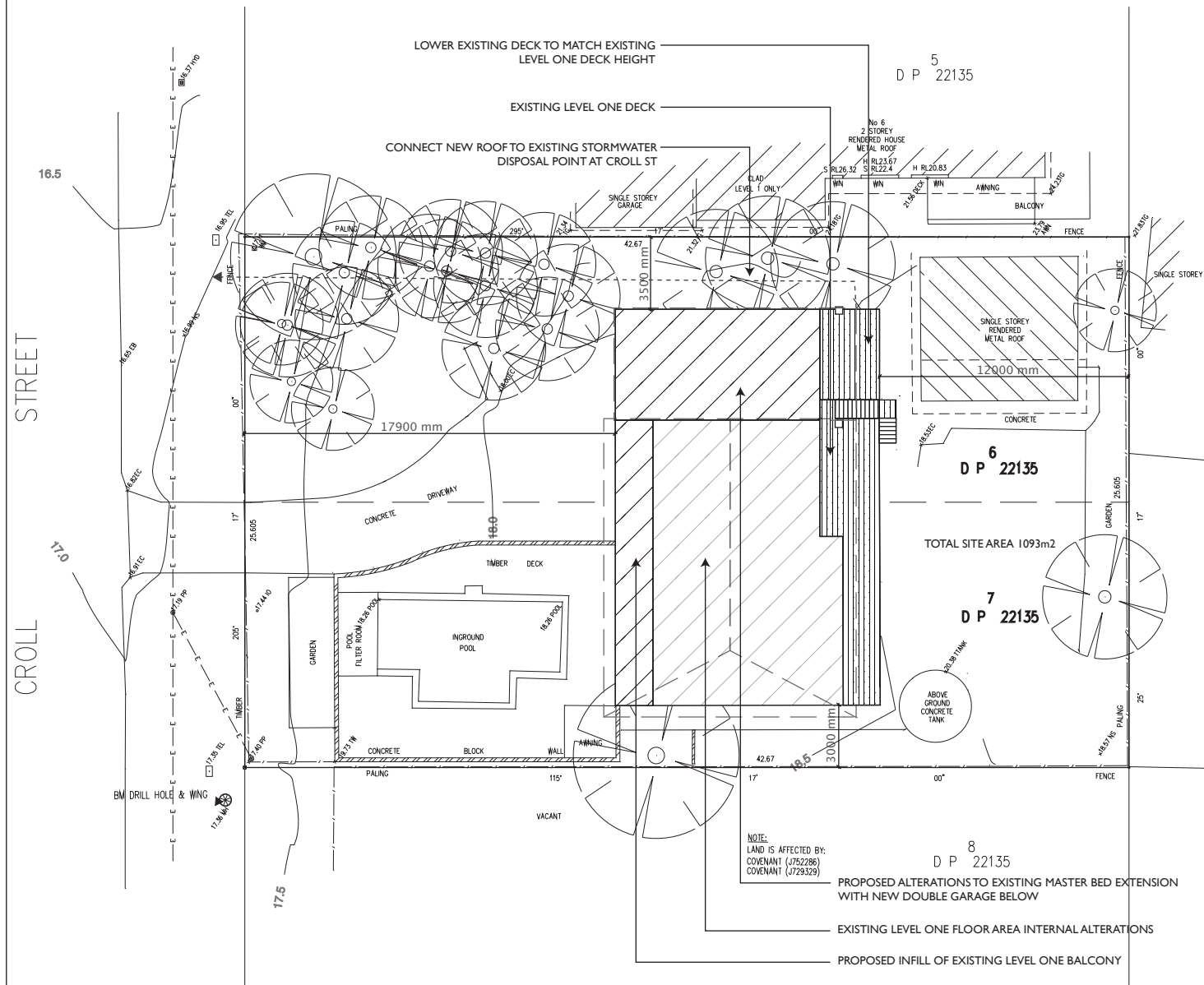
No.	Description	Date
1	DA PLANS	23/04/2025

STEVE + WENDY ELLIOT

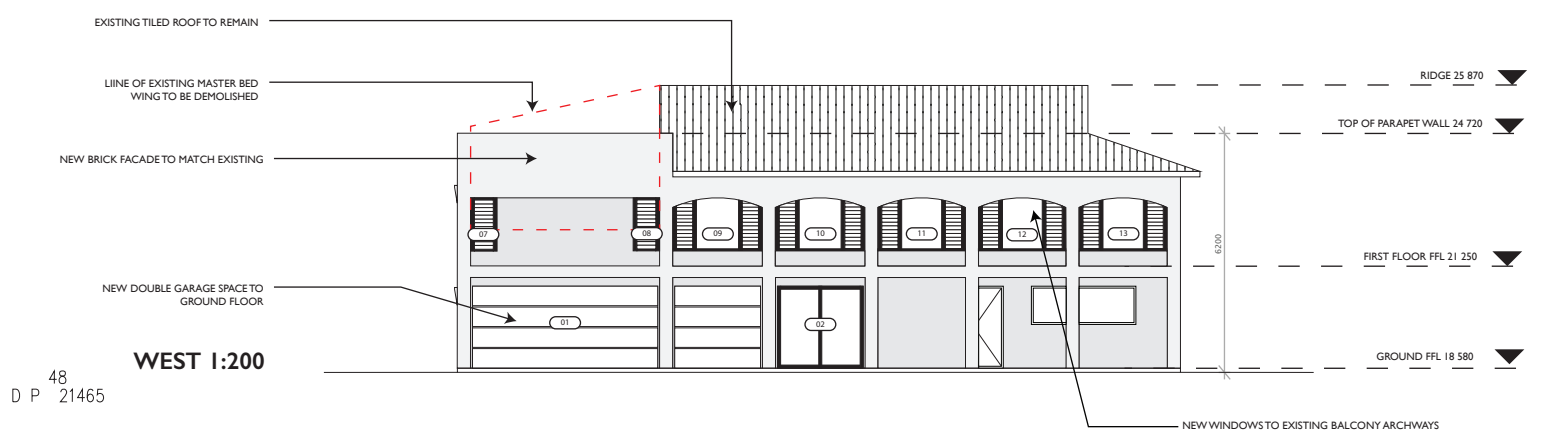
PROPOSED ALTERATIONS + ADDITIONS  
LOT 6 + 7 DP 22135  
8-10 CROLL ST, BLUEYS BEACH  
NSW. 2428

BASIX COMMITMENTS		
Project No.	25-005	A12
Date	23/04/2025	
Drawn by	RB	Scale



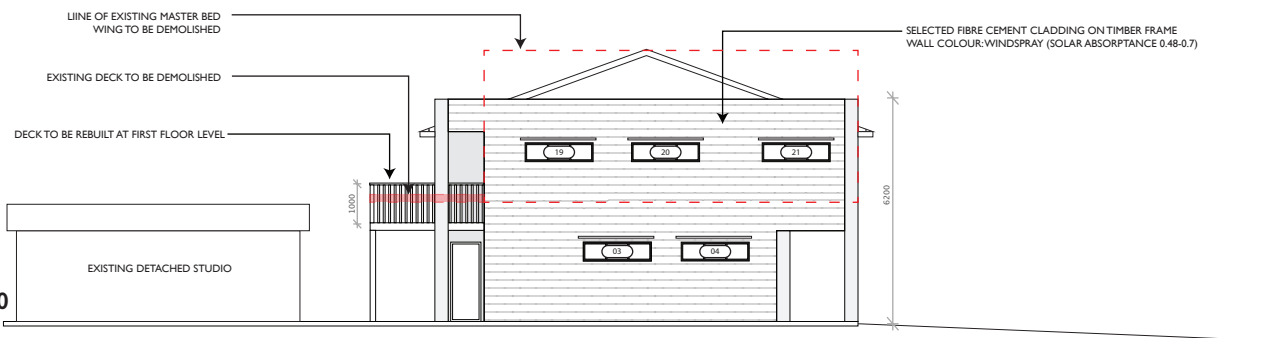


SITE PLAN 1:300



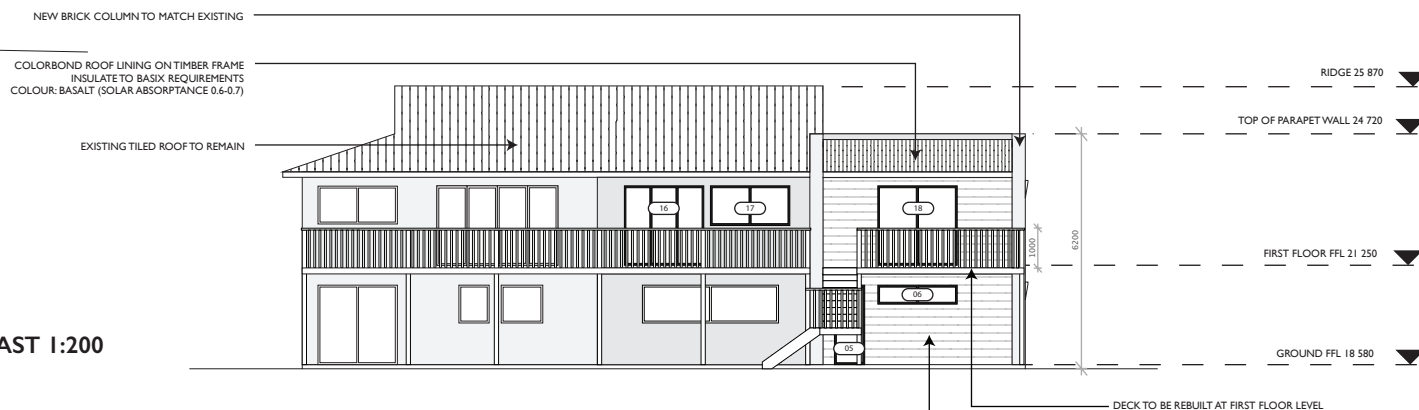
WEST 1:200

48  
D P 21465



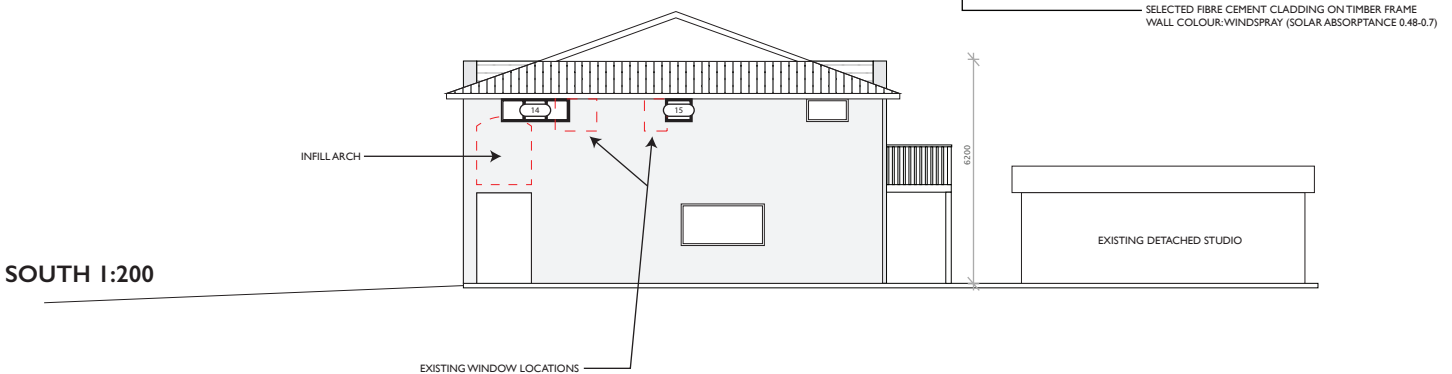
NORTH 1:200

49  
D P 21465



EAST 1:200

50  
D P 21465



SOUTH 1:200

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No.	Description	Date
1	DA PLANS	23/04/2025

STEVE + WENDY ELLIOT

PROPOSED ALTERATIONS + ADDITIONS  
LOT 6 + 7 DP 22135  
8-10 CROLL ST, BLUEYS BEACH  
NSW. 2428

NOTIFICATION PLANS		
Project No.	25-005	A13
Date	23/04/2025	
Drawn by	RB	
	Scale	

ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING CUTTING AND FILLING.

DISTURBANCE OF THE SITE MUST BE MINIMISED.

WHERE CATCHMENT AREA IS MORE THAN 0.5 HA DIRECT UP SLOPE RUNOFF AROUND THE SITE, BY THE USE OF A DIVERSION BANK OR CHANNELS. THESE DEVICES MAY REQUIRE MEASURES OF CONTROL EROSION DEPENDING ON THE VOLUME OF FLOW ANTICIPATED.

STOCKPILES OF ERODABLE MATERIALS (SAND, SOIL, SPOIL & VEGETATION) MUST BE PROTECTED BY A SEDIMENT FENCE OR BUND. IF THE STOCKPILE AREA IS PRONE TO HIGH WINDS OR IS TO BE THERE FOR A LONG TIME THEN THE STOCKPILE MUST BE COVERED.

IMMEDIATELY FOLLOWING INSTALLATION OF THE ROOF CLADDING, ALL GUTTERING AND DOWNPIPES ARE TO BE CONNECTED TO THE STORMWATER SYSTEM. INSPECTION OF THE FRAME IS NOT TO BE ARRANGED UNTIL THIS IS COMPLETED.

ALL TRENCHES WITHIN THE DEVOLPMENT SITE ARE TO BE BACKFILLED AND COMPACTED TO A LEVEL OF 75mm ABOVE ADJOINING GROUND LEVEL. THIS MAY NOT APPLY ON PUBLIC LAND, CONSULT WITH COUNCIL STAFF.

ALL DISTURBED AREAS ARE TO BE MADE EROSION RESISTANT BY REVEGETATION (IE MIN. 70% COVERAGE), TURFING OR STABILISED BY PAVING ON COMPLETION OF THE WORKS AND PRIOR TO OCCUPATION AND/OR USE OF THE BUILDING OR, ALL NECESSARY EROSION AND SEDIEMNT CONTROL DEVICES ARE TO BE LEFT IN PLACE

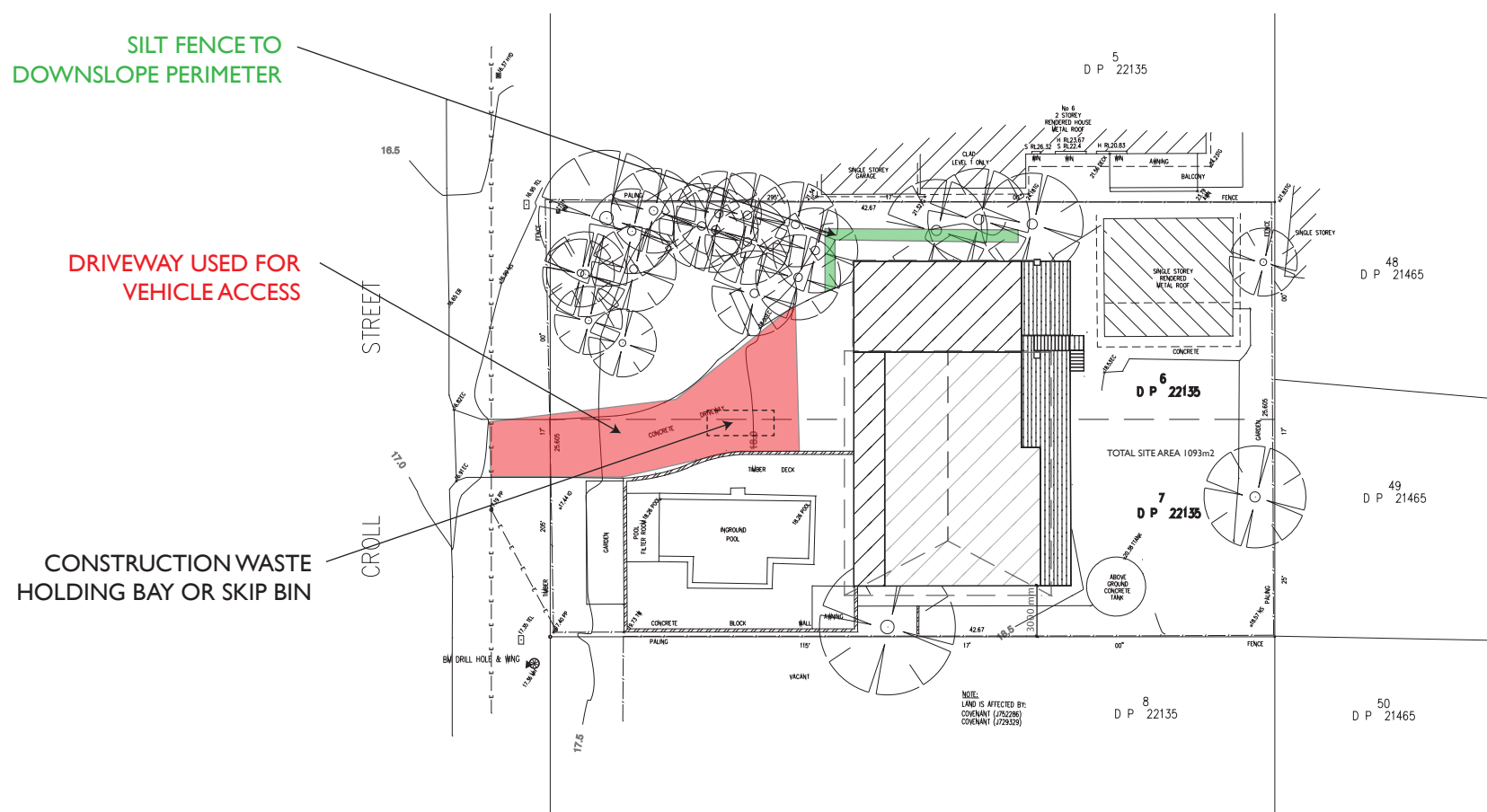
200 X 200 TRENCH

### SILT FENCE DETAIL (ALTERNATIVE)

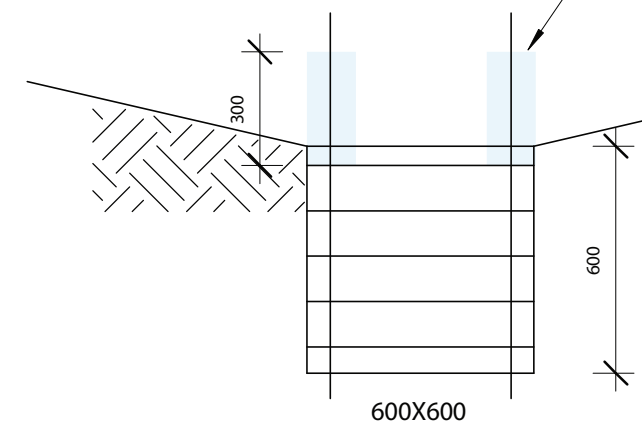
1400 LONG STAR PICKETS AT  
3000 CENTRES MAX DRIVE  
600 INTO GND

SILT FENCE DETAIL (ELEVATION)

- FILTER SYSTEM EQUAL  
TO GEOFABRICS  
"SILT FENCE 2000"



HAY BAILS FIXED ALL ROUND \_\_\_\_\_  
PIT ENTRANCE, MIN. TWO STAKES PER BAIL  
600 INTO GND.





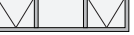
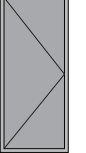




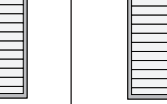
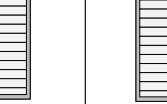
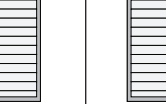
SEDIMENTATION PIT (IF REQUIRED)




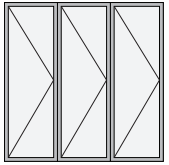

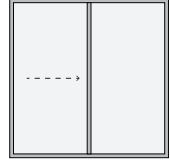
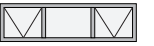
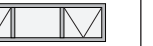

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STEVE + WENDY ELLIOT

PROPOSED ALTERATIONS + ADDITIONS  
LOT 6 + 7 DP 22135  
8-10 CROLL ST, BLUEYS BEACH  
NSW. 2428

SEDIMENT CONTROL + WASTE MANAGEMENT		
Project No.	25-005	A14
Date	23/04/2025	
Drawn by	RB	

ID	02	03	04	05	06	07	08	09	10	11	12
HEIGHT	2100	500	500	2100	500	1400	1400	1400	1400	1400	1400
WIDTH	2400	1800	1800	820	2100	500	500	2400	2400	2400	2400
AREA (sqm)	5.04	0.9	0.9	1.72	1.05	0.7	0.7	3.36	3.36	3.36	3.36
HEAD HEIGHT	2100	2100	2100	2100	2100	1800	1800	1800	1800	1800	1800
ELEVATION											

ID	13	14	15	16	17	18	19	20	21	
HEIGHT	1400	500	500	2100	1000	2100	500	500	500	
WIDTH	2400	1800	700	2100	2100	2100	1800	1800	1800	
AREA (sqm)	3.36	0.9	0.35	4.41	2.1	4.41	0.9	0.9	0.9	
HEAD HEIGHT	1800	2100	2100	2100	2100	2100	2100	2100	2100	
ELEVATION										

 <p><i>RKB</i> BUILDING &amp; DRAFTING</p> <hr/> <p>rkb.draft@gmail.com                      0400 341 103</p>	No.	Description	Date	STEVE + WENDY ELLIOT  <b>PROPOSED ALTERATIONS + ADDITIONS</b> LOT 6 + 7 DP 22135 8-10 CROLL ST, BLUEYS BEACH NSW. 2428	WINDOW & DOOR SCHEDULE		
	1	DA PLANS	23/04/2025		Project No.	25-005	A15
					Date	23/04/2025	
					Drawn by	RB	