STEVE + WENDY ELLIOT

PROPOSED ALTERATIONS + ADDITIONS LOT 6+7 DP 22135 8-10 CROLL STREET, BLUEYS BEACH. **NSW 2428**

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SITE DESCRIPTION:

546.5 m2 ADJOINING LOTS ON CROLL STREET, IN BLUEYS BEACH

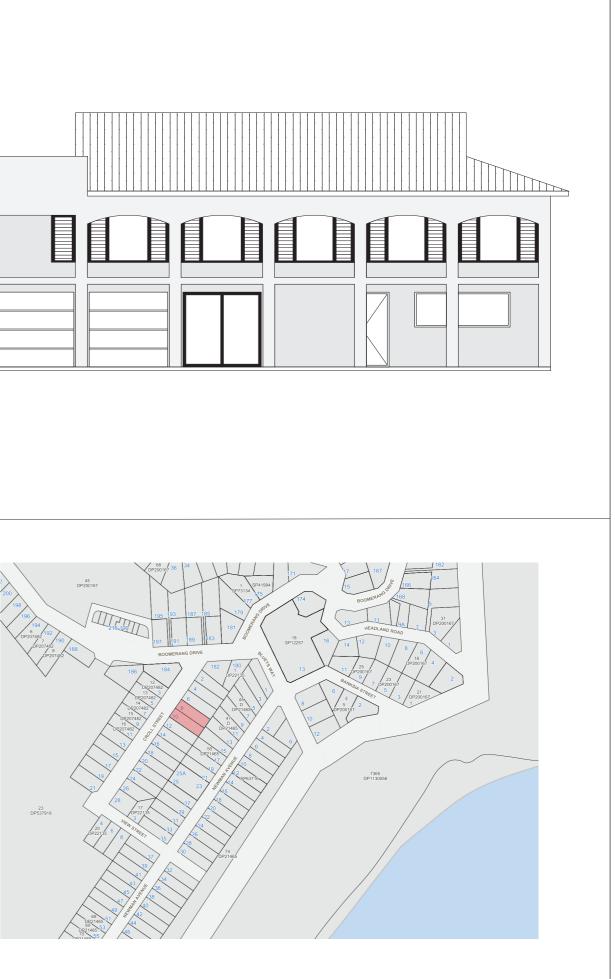
R2 - LOW DENSITY RESIDENTIAL LEP ZONE:

2 STOREY BRICK VANEER DWELLING, LOCATED OVER 2 LOTS EXISTING:

PROPOSED DEVELOPMENT: THE PROPOSED DEVELOPMENT CONSISTS OF THE DEMOLITION OF THE SECOND STOREY MASTER BED WING, BEING REBUILT TO INCLUDE THE ADDTION OF A DOUBLE GARAGE BELOW. THE EXISTING WESTERN FACING BALCONY WILL BE ENCLOSED TO ALLOW FOR THE ADDITION OF ANOTHER BEDROOM ALONG WITH INTERANL ALTERATIONS TO THE EXISTING ROOMS.

ACID SULPHATE SOIL CLASS: 5

BUSHFIRE PRONE LAND: NO





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GENERAL SPECIFICATIONS:

1.0 INTRODUCTION

I.I General

This Specification forms part of the Contract documents referred to in the building Contract and details the works to be executed and the materials to be used in carrying out those works at the site. This Specification is to be read as a general specification only. The extent of the works shall be governed by the

approved plans and other requirements under the Contract. Any works not fully detailed shall, where appropriate, be sufficiently performed if carried out in accordance with the National Construction Code (NCC) Series, the relevant manufacturer's instructions or Engineer's Instructions.

1.2 Preliminary Use

This Specification forms part of the Contract and should be read in conjunction with the other contract documents. 1.3 Prevailing Documents

Where there is a difference between the plans and this Specification, this Specification shall take precedence. The Builder must at all times maintain a legible copy of the plans, documents and this Specification bearing the approval

of the relevant Local Authority. Otherwise to the extent of any conflict between documents, the order of precedence set out in the building contract

1.4 Size and Dimensions

Unless otherwise stated, all dimensions given in this Specification are in millimetres and are nominal only. Consult

with Architect if unsure of any dimensions. I.5 Prime Cost and Provisional Sum Items

Prime Cost and Provisional Sums Items are items that the Owner is to select after the contract has been entered into. The prices listed are the Builder's reasonable estimate of the 'cost price' of those items including GST. The prices listed do not include unquantifiable components including the cost of cartage and freight. The Builder shall allow for installation of items supplied by Owner, including wiring, pipework etc. I.6 Definitions

In this Specification the following definitions shall apply: . ''NCC'' Series includes NCC Series Volume 2, "Building Code of Australia Class I and Class I0 Buildings also known as the 'Housing Provisions'f, NCC Series Volume 3 Plumbing Code of Australia is also included.

"Engineer's Instruction" includes any soil classification report, preliminary footings report, construction footings report and any other report, recommendation, site or other instruction, calculations or plans prepared by an engineer in respect of the works.

Where the term "Local Authority" his mentioned it shall mean the local council, or other governing authority or private certifier with statutory responsibility for the compliance of the work performed Where referred to in this Specification, "Regulations" is shall mean the building Regulations and Codes (including the NCC, as amended) statutorily enforceable at the time application is made for a

construction certificate or other permits, consents or approvals relating to the Contract. Documentation refers to the Architectural plans, schedules and reports and the plans and reports provided by

specialist consultants.

The Builder shall be responsible for activities on the site including providing access for authorised persons and restricting access by unauthorised persons. Take necessary precautions to secure the assets of the proprietor. Except as otherwise provided in the contract, delivery of materials for the works, space for storage of same and for building sheds, office and workshops will be allowed only as directed by the builder

Do not store waste building materials and flammable liquids in the building.

Take proper precautions to keep poisons and other injurious substances in places secured against access by unauthorised persons.

I.8 Adjacent Premises

Ensure that the work is carried out without damage to and with a minimum of nuisance or annovance to the occupants of adjacent premises.

Provide a thorough photographic record of surfaces of existing buildings adjacent to the site **1.9 Builder's Quality Control**

Inspect each item of materials or equipment immediately prior to installation and reject damaged or defective items.

 \cdot Provide attachment and connection devices and methods for securing materials properly as they are installed, true to line and level, and within recognised industry tolerances unless otherwise indicated. Allow for expansion and building movements. Provide uniform joint widths in exposed Work, organised for best possible visual effect. Refer questionable visual effect choices to the architect

· Re-check measurements and dimensions of the Work as an integral step before starting each installation. Install work during conditions of temperature, humidity, exposure and weather which will ensure the best possible results for each part of the work, or component or treatment as necessary to prevent damage and leterioration.

· Coordinate enclosure and closing-in of work with required inspections and tests, so as to avoid necessity of uncovering work for that purpose.

1.10 Joining Up Existing Buildings

Where the method of joining up of old and new work is not otherwise specified, the cut away and join up in a manner approved by the architect and made good by relevant trades to match existing adjacent work. I.II General Attendance on Subcontractors

General attendance will include taking delivery, assisting to unload, storing and protecting subcontractor's materials and for allowing subcontractors ample working space, free use of water, electricity (unless otherwise described), scaffolding, hoists and ordinary plant, etc., and messing and sanitary accommodation and for cutting away, building in and protecting finished work and making good.

2.0 STATUTORY REQUIREMENTS

2.1 The Building Works

The building works shall be constructed in accordance with:

the Regulations and in particular the Performance Requirements referred to in the NCC. Housing Provisions Volume 2: any conditions imposed by the relevant development consent or complying development certificate; and mitments outlined in the BASIX Certificate

• the Architectural plans, schedules and reports and the plans and reports provided by specialist consultants.

2.2 Compliance with Requirements of Authorities The Builder is to comply with the requirements of all legally constituted authorities having jurisdiction over building works and the provisions of the Home Building Act.

2.3 Electricity

Where there is no existing building, the Builder is to make arrangements for any electrical power to be used in the construction of the building works. The cost of providing and installing any poles, wiring, service risers or underground wiring etc, as may be required by the electricity supply authority, shall be borne by the Owner.

2.4 Sanitary Accommodation

Prior to the commencement of the building works, unless toilet facilities exist on the site, the Builder shall provide temporary toilet dation for the use of site personnel. Where the Local Authority requires the temporary toilet to be connected to the sewer mains, the cost of this work shall be borne by the Owner. On completion the Builder shall remove the convenience.

3.0 OWNER'S OBLIGATIONS

3.1 Engineer's Instructions

If the Contract indicates, the Owner, at their expense, shall provide the Builder with engineer's reports and specifications (including wind and soil classifications) for the foundation or footing requirements

In these circumstances, if the Builder instructs any party to provide such reports, the Builder does so only as agent for the Owner 3.2 Water Supply

Where there is no existing building on the site, the Owner, at their expense, shall supply adequate water to the site for construction purposes. The contract documents must include all details for management of water providing clarity for the Owner and Builder egarding items such as rainwater tanks, septic systems and the like.

3.3 Sanitation

Unless otherwise specified the Owner shall supply sewerage connection and pay the standard sewer connection fee to the sewerage supply authority.

4.0 PLANS, PERMITS AND APPLICATION FEES

4.1 Permits and Fees

Subject to a contrary requirement under the Contract, the Builder shall lodge all necessary application notices, plans and details with the Local Authority for the approval prior to commencement of construction

4.2 Mines Subsidence

In areas affected by mine subsidence, the appropriate authority is to be consulted and any work carried out in accordance with the authority's require 4.3 Setting Out

The Builder shall accurately set out the building works in accordance with the site plan and within the boundaries of the site.

5.0 EXCAVATIONS

5.1 Excavations

The part of the site to be covered by the proposed building or buildings and an area at least 1000mm wide around that part of the site or to the boundaries of the site, whichever is the lesser, shall be cleared or graded as indicated on the site works plan. Top soil shall be cut to a depth sufficient to remove all vegetation. Excavations for all footings shall be in accordance with the Engineer's Instructions or the NCC requirements

6.0 FOUNDATIONS AND FOOTINGS

6.1 Underfloor Fill

Underfloor fill shall be in accordance with the NCC.

6.2 Termite Risk Management Fermite treatment shall be carried out in accordance with the NCC.

6.3 Vapour Barrier

The vapour barrier installed under slab-on-ground construction shall be installed in accordance with the NCC. 6.4 Reinforcement

Reinforcement shall conform and be placed in accordance with the Engineer's Instructions and the NCC.

Support to all reinforcement shall be used to correctly position and avoid any undue displacement of reinforcement during the concrete placement.

6.5 Concrete

Except where otherwise approved by an engineer, structural concrete shall be in accordance with the NCC. Pre-mixed concrete shall be manufactured in accordance with the NCC with delivery dockets kept on site or available for inspection by the engineer, the client or the Local Authority.

Concrete shall be placed and compacted in accordance with good building practice and the NCC.

6.6 Curing All concrete slabs shall be cured in accordance with the NCC

6.7 Footings and Slabs on Ground

Concrete slabs and footings shall not be placed until approval to do so is given by the engineer or the Local Authority. Unless otherwise specified, bench and floor levels indicated on the site plan shall be regarded as nominal.

6.8 Suspended Slabs

All concrete slabs, other than those supported on solid ground or properly compacted fill, shall be constructed as suspended slabs. These slabs shall be constructed in accordance with the Engineer's Instruction

No. Description Date **RKB** BUILDING & DRAFTING 1 DA PLANS 23/04/2025 rkb.draft@qmail.com 0400 341 103

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6.9 Foundation Walls

height of the underside of the floor bearer or bottom wall plate. 6.10 Sub-Floor Ventilation 6.1 | Sub-Floor Access

7.0 RETAINING WALLS

7.1 Retaining Walls

8.0 EFFLUENT DISPOSAL/DRAINAGE

8.1 Effluent Disposal/Drainage In both sewered and unsewered areas: a. any bath, wash basin, kitchen waste, wash tubs, pedestal pan and the floor grate to a shower recess shall be located in the position shown on the plan (refer to Schedule of Works); and b. waste pipes with traps shall be provided to the above fittings and connected to the drainage system. The whole of the work is to be performed in accordance with the NCC and requirements of the sewerage authority concerned. 8.2 Septic System The Builder will provide and install a septic system where applicable to the requirements of the Local Authority and in accordance with the manufacturer's instructions.

8.3 Storm Water Drainage Stormwater drainage shall be carried out in accordance with the NCC. The Builder will allow for the supplying and laying of stormwater drains as shown on the site plan.

9.0 TIMBER FRAMING

9.1 Generally

manufacturer's instructions The work shall be carried out in a proper and tradesperson like manner and shall be in accordance with recognised and accepted building practices. 9.1.1 Floor Framing All floor framing is to be framed at the level shown on the plan. 9.1.2 Wall Framing Wall framing is to be erected plumb and straight and securely fastened to the floor framing or floor slab. The interface between masonry and wall framing will conform with the NCC. 9.1.3 Heads Over Opening (Lintels) ·All solid timber lintels shall conform to the NCC.

sheets may also be used. 9.1.4 Roof Trusses

Where roof truss construction is used, trusses shall be designed in accordance with AS 1720 and be erected, fixed and braced in accordance with the manufacturer's instructions 9.1.5 Bracing

Bracing units shall be determined and installed in accordance with the NCC as appropriate for the design wind velocity for the site. Bracing shall be evenly distributed throughout the building. 9.1.6 Flooring

Strip and sheet timber floors shall be installed in accordance with the NCC. The selection, installation and waterproofing of wet area floors shall conform to the NCC when listed in Schedule of Works. Where specified in the contract floors shall be sanded to provide an even surface and shall be left clean throughout.

9.1.7 Roof Framing Roofs shall be pitched to the slope shown on plan.

building practices.

suitable for external use. 9.2 Corrosion Protection

support all imposed loads.

Where specified, masonry foundation walls are to be built on specified footings to the thickness indicated on the plans and to the

All sub floor spaces to suspended ground floors shall be provided with adequate ventilation in accordance with the NCC.

Where required, access to suspended sub floor areas shall be located as indicated on the plan

Where the Builder is required by the Documentation, the Builder shall construct retaining walls as shown on the approved plans by structural engineer or to manufacturers specification

All timber framing shall comply with the NCC, alternative structural framing shall be to structural engineer's details and certification. Timber Engineered products may be used provided their design comply with the NCC and they are installed in accordance with the

Glue laminated beams conforming to AS 1328 or laminated veneer lumber beams to manufacturer's specification and data

The work shall be carried out in a proper and tradesperson like manner and shall be in accordance with recognised and accepted

Metal fascias shall be installed in accordance with the manufacturer's instructions and shall meet the requirements of the NCC.

9.1.8 Timber Posts Unless otherwise specified and where required by the NCC posts supporting carports, verandas and porches shall be timber

All metal brackets, facing plates and other associated fixings used in structural timber joints and bracing must have corrosion protection appropriate to the site in accordance with the NCC. 9.3 Hot Water Storage Units

Where a hot water storage unit or solar panels are supported by the roof structure the structure shall be specifically designed to

GENERAL SPECIFICATIONS

Project No.	25-005	
Date	23/04/2025	

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10.0 STEEL FRAMING

10.1 Generally

Steel framing shall be installed in accordance with the manufacturer's recommendations and the NCC.

11.0 ROOF LINING

All roof cladding is to comply with the relevant structural performance and weathering requirements of the NCC and be installed as per the manufacturer's specifications.

II.I Tiled Roofing

The Builder shall cover the roof of the dwelling with approved tiles as selected. The roof shall be fixed and waterproofed in accordance with the NCC. Roofing adjacent to valleys should be fixed so as to eliminate water penetration. Where roof tiles are made of natural products slight variation in colour is acceptable.

11.2 Metal Roofing

The Builder shall provide and install a metal roof together with accessories as determined in the contact documents in accordance

with the NCC and the manufacturer's recommendations. Except where design prohibits, sheets shall be in single lengths from fascia to ridge. Fixing of sheets shall be in accordance with the ufacturer's inst ictions as required for the appropriate design and wind speed

11.3 Gutters and Downpipes

Gutters and downpipes as determined in the contract documents shall be manufactured and installed in accordance with the NCC. 11.4 Corrosion Protection

Materials used for flashings, fasteners, gutters and downpipes shall be compatible

11.5 Sarking Sarking under roof coverings must comply with and be fixed in accordance with the NCC.

II.6 Sealants

Appropriate sealants shall be used where necessary and in accordance with manufacturer's specifications.

II.7 Flashing

Flashings shall comply with, and be installed in accordance with the NCC.

12.0 MASONRY

12.1 Bricks

All masonry construction and units shall comply with the NCC.

Tolerances shall only be applied to the total measurements over 20 units, and not to the individual units. As class masonry units are natural kiln fired products their individual size may vary due to the manufacturing process.

12.2 Concrete Blocks

Concrete blocks are to be machine pressed, of even shape, well cured and shall comply with the NCC. Concrete blockwork shall be constructed in accordance with the NCC.

Autoclaved aerated concrete blocks shall be in accordance with the manufacturer's product specification at the time the work is being carried out.

12.3 Damp Proof Courses

All damp proof courses shall comply with the NCC.

The damp proof membrane shall be visible in the external face of the masonry in which it is placed and shall not be bridged by any

applied coatings, render or the like. 12.4 Cavity Ventilation (Weepholes)

Where required open vertical joints (weepholes) must be created in the course immediately above any Damp Proof Course or flashing at centres in accordance with the NCC.

12.5 Mortar and Joining

Mortar and joint tolerances shall comply with the NCC.

12.6 Masonry Accessories

Masonry accessories shall comply with the NCC and accepted building practices. Articulated joints shall be constructed in accordance with the NCC.

12.7 Lintels

Lintels used to support masonry above openings in walls must be suitable for the purpose as required by the NCC. Lintels are to be provided to each wall leaf and are to be corrosion protected appropriate for the site environment and location of the lintel within the structure in accordance with the NCC.

12.8 Cleaning

All exposed face brickwork shall be cleaned with an approved cleaning system. Care should be taken not to damage brickwork or joints and other fittings.

13.0 WALL LINING

13.1 External Claddings

Sheet materials or other external cladding shall be fixed in accordance with the manufacturer's recommendations and any applicable special details.

Where required, the specified materials shall be used to line soffits at eaves, open verandas and porches.

13.2 Internal Wall and Ceilings Linings

Unless otherwise specified, internal linings to walls and ceilings in other than wet areas shall be of gypsum plasterboards. Plasterboard sheets are to be of a minimum 10mm thick with recessed edges to facilitate a smooth set finish. Internal angles to

walls are to be set from floor to ceiling.

Where specified, suitable cornice moulds shall be fixed at the junction of all walls and ceilings. Alternatively the joint may be set as required for vertical internal angles.

Wet area linings are to be fixed in accordance with the manufacturer's recommendations

The ceiling access hole shall be of similar material to the adjacent ceiling.

13.3 Waterproofing

All internal wet areas are to be waterproofed in accordance with the NCC. External tiled decks and balconies where required are to be waterproofed in accordance with the NCC and relevant manufacturer's specifications

14.0 IOINERY

14.1 General

All joinery work (metal and timber) shall be manufactured and installed according to accepted building practices. 14.2 Door Frames

External door frames shall be suitable for the exposed conditions and to receive doors.

Internal jamb linings shall be suitable to receive doors as specified in the contract documents.

Manufactured door frames shall be installed in accordance with the manufacturer's instructions.

14.3 Doors and Doorsets

All internal and external timber door and door sets shall be installed in accordance with accepted building practice and specific manufacturer's instructions

14.4 Window and Sliding Doors

Sliding and other aluminium windows and doors shall be installed in accordance with manufacturer's recommendations and AS 2047

All glazing shall comply with the NCC and any commitments outlined in the relevant BASIX Certificate.

14.5 Architraves and Skirting

Architraves and skirting as nominated on the plans or listed in the Schedule of Works shall be installed in accordance with the accepted building practice. 14.6 Cupboards/Kitchens/Bathroom

Units shall be installed to manufacturer's recomm

endations. Bench tops shall be of a water resistant material. 14.7 Stairs, Balustrades and other Barriers

Where required stairs or ramps to any change in level shall be provided and balustrades or barriers fitted in accordance with the NCC.

15.0 SERVICES

15.1 Plumbing

All plumbing shall comply with the requirements of the NCC Volume 3 and the relevant supply authority. All work shall be carried out by a licensed plumber

Fittings, as listed in the Schedule of Works, shall be supplied and installed to manufacturer's specifications. Fittings, hot water systems and any rainwater harvesting systems shall be appropriate to satisfy any commitment outlined in the

relevant BASIX Certificate

15.2 Electrical

All electrical work is to be carried out by a licensed electrical contractor to AS/NZS 3000

Electrical installations (known as the Australian/New Zealand Wiring Rules) plus any other relevant regulations. The location of lights, switches, power points and the like, is to be nominated in the contract documents.

Unless otherwise specified, the electrical service shall be 240 volt, single phase supply. 15.3 Gas

All installation (including LPG) shall be carried out in accordance with the rules and requirements of the relevant supply authority. 15.4 Smoke Detectors

Smoke alarms shall be installed in accordance with the NCC.

15.5 Thermal Insulation

Where thermal insulation is used in the building fabric or services, such as air conditioning ducting or hot water systems, it shall be installed in accordance with manufacturer's recommendations to achieve the R-Values required by the NCC or as outlined in the relevant BASIX Certificate.

16.0 TILING

16.1 Materials

Tiles shall be as listed in the Schedule of Works or as selected by the Owner.

Cement mortar and other adhesives shall comply with AS 3958.1 or tile manufacturer's specifications.

16.2 Installation

Installation of tiles shall be in accordance with AS 3958.1 or the manufacturer's recommendations and accepted building practices. Where practicable, spacing between tiles should be even and regular.

Expansion joints shall be installed in accordance with AS 3958.1 or the tile manufacturer's specifications.

All vertical and horizontal joints between walls and fixtures e.g. bench top, bath, etc. and wall/floor junctions shall be filled with

flexible mould resistant sealant. All joints in the body of tiled surfaces shall be neatly filled with appropriate grout materials as specified by the tile manufacturer or accepted building practice.

As tiles are made of natural products a slight variation in colour is acceptable.

Tiles are to be fixed to the substrate with adhesives that are compatible with the substrate and any waterproofing material.

16.3 Walls

Wall surfaces shall be tiled with selected tiles and accessories where indicated by the contract documents.

16.4 Floors Floors shall be tiled to areas where indicated by the contract documents with selected tiles.

Tiles shall be laid in a sand and cement mortar or using an adhesive, where required, edge strips or metal angle to exposed edges

in doorways or hob-less showers in wet areas shall be provided in accordance with the NCC. Where required, adequate falls shall be provided to wastes in accordance with the NCC.

17.0 PAINTING

17.1 General

All paint used shall be of a quality suitable for the purpose intended and the application shall be as per the manufacturer's specifications. The colours used shall be as listed in the Documentation. All surfaces to be painted shall be properly prepared to . manufacturer's instructions

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GENERAL SPECIFICATIONS

25-005 Project No.

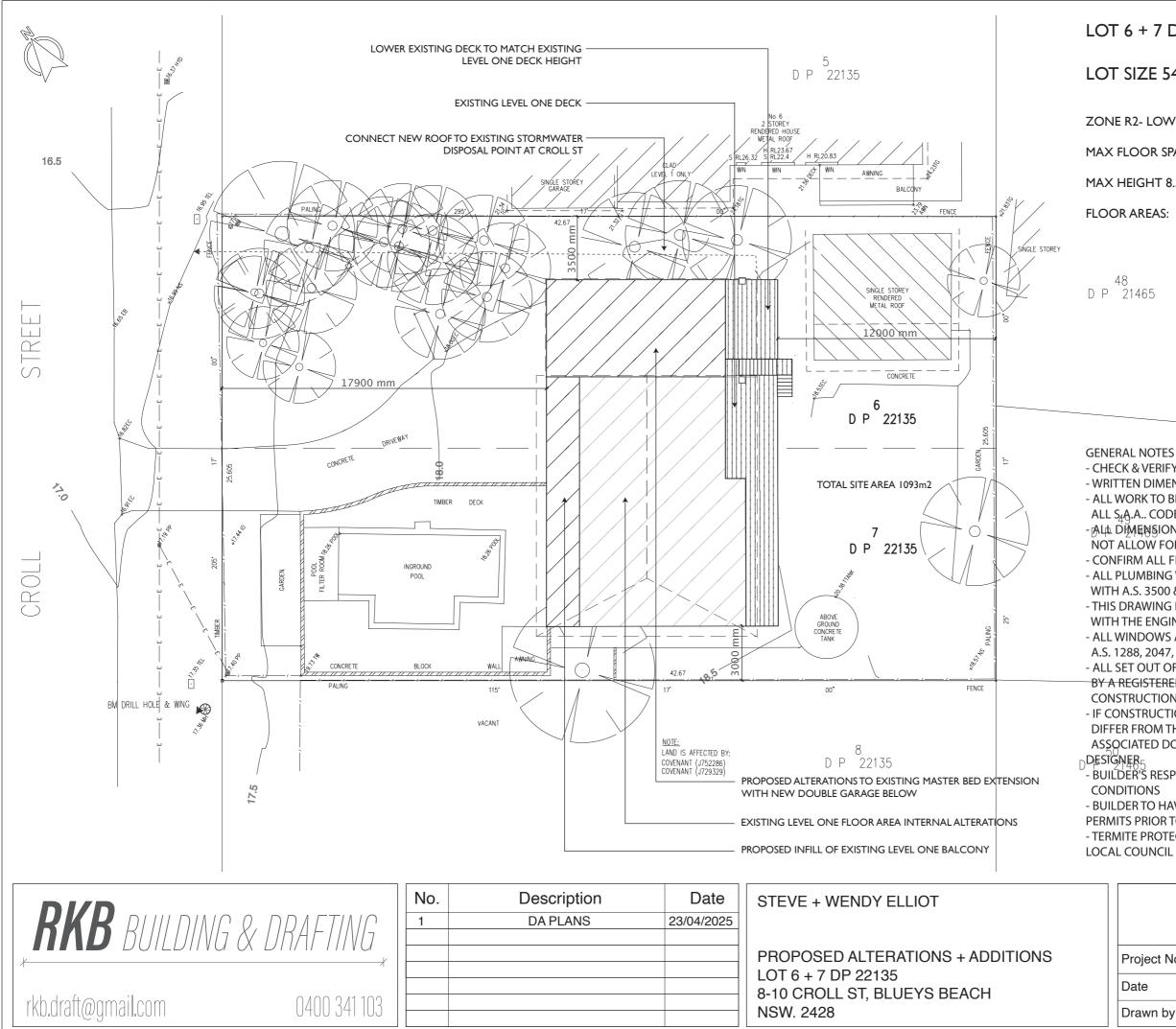
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LOT 6 + 7 DP 22135

LOT SIZE 546.5 m2 + 546.5m2

ZONE R2- LOW DENSITY RESIDENTIAL

MAX FLOOR SPACE RATIO 0.5:1

MAX HEIGHT 8.5M

AREAS:	EXISTING FLOOR AREA :	232m2
	EXISTING GARAGE AREA:	42m2
	PROPOSED FLOOR AREA:	260m2
	PROPOSED GARAGE AREA:	82m2

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE

- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED - ALL WORK TO BE STRICTLY IN ACCORDANCE WITH B.C.A.,

ALL SAA.A.. CODES & LOCAL AUTHORITY BY-LAWS

- ALD DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS

- CONFIRM ALL FLOOR AREAS

- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE

WITH A.S. 3500 & APPROVED BY COUNCIL INSPECTOR

- THIS DRAWING IS TO BE READ IN CONJUNCTION

WITH THE ENGINEER'S STRUCTURAL DRAWINGS - ALL WINDOWS AND GLAZING TO COMPLY WITH

A.S. 1288, 2047, 4055

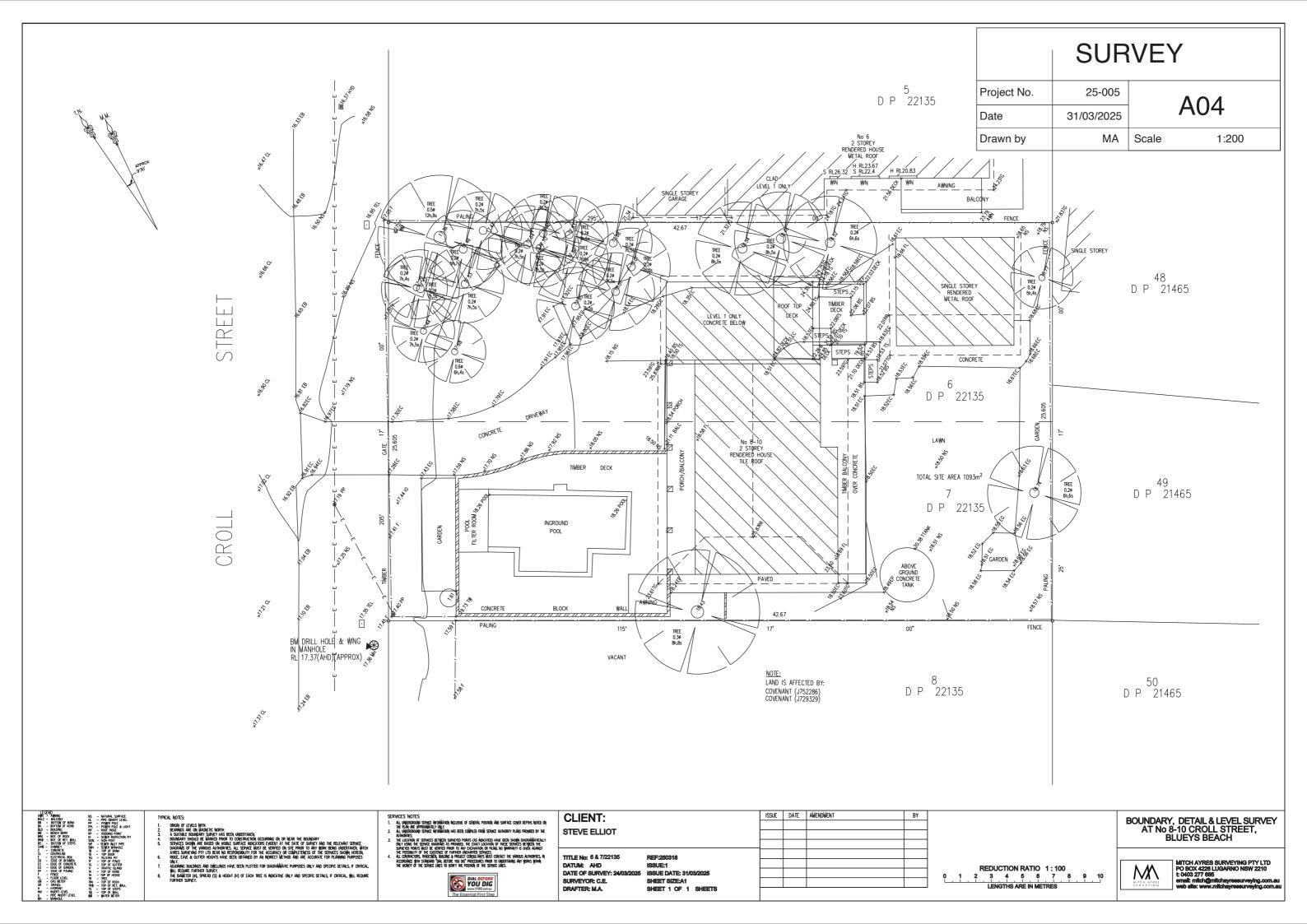
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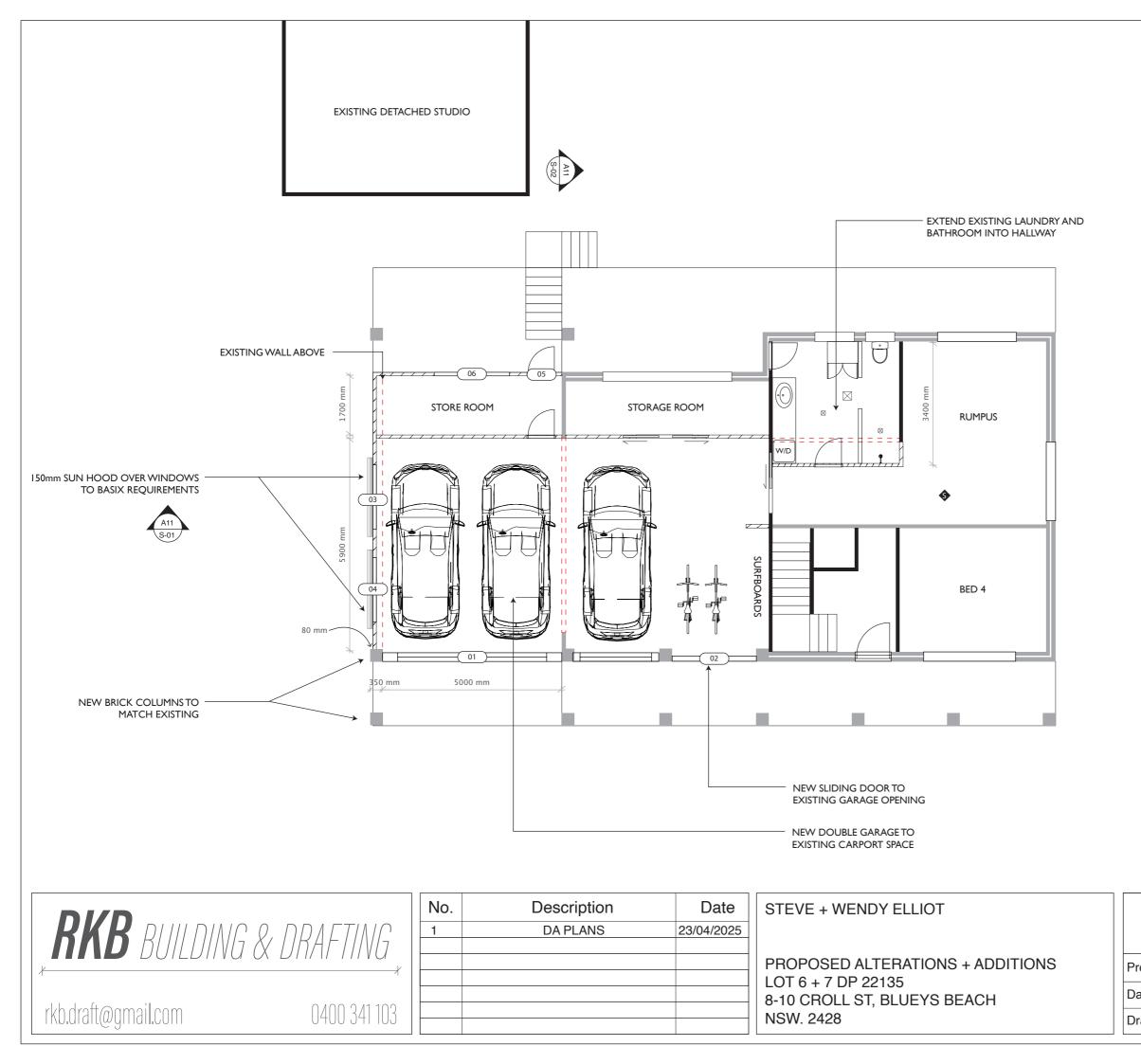
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY

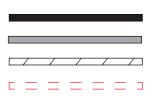
BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING

- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION - TERMITE PROTECTION TO A.S. 3660.1 AND/OR A.S. 3600.3, AND TO LOCAL COUNCIL REQUIREMENTS.

SITE PLAN			
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EXISTING TIMBER WALL
 EXISTING BRICK WALL
 NEW WALL
 REMOVE WALL



SMOKE ALARM to AS3786 & NCC Housing Provisions Clause 9.5.2



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MECHANICAL VENTILATION EXTERNALLY DUCTED 25 L/s for a bathroom or sanitary compartment; and 40 L/s for a kitchen or laundry.

FLOOR WASTE - falls between 1:50 – 1:80 to all floor wastes as per NCC Housing Provisions Clause 10.2.12.

GROUND FLOOR PLAN

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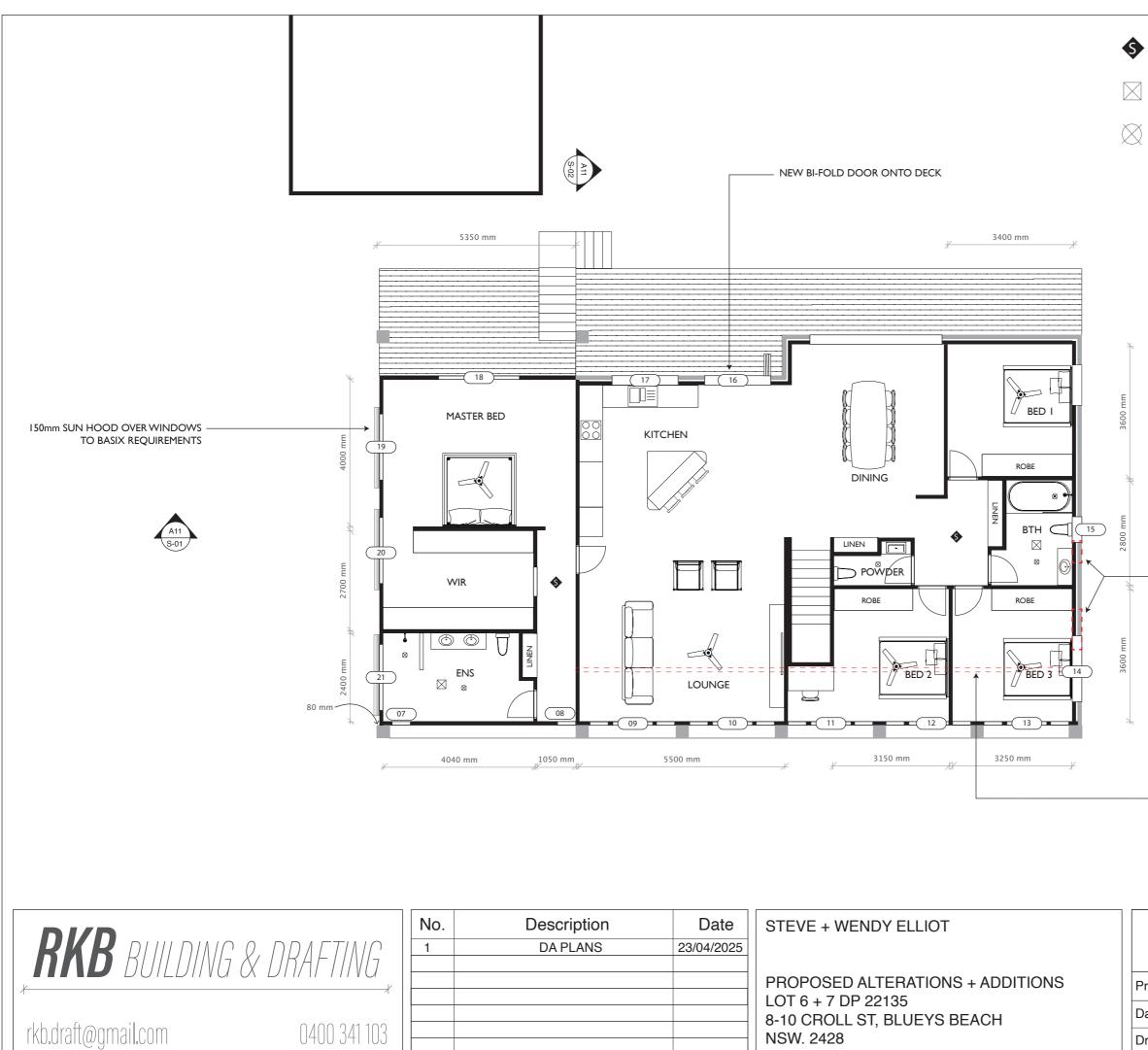
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MECHANICAL VENTILATION EXTERNALLY DUCTED 25 L/s for a bathroom or sanitary compartment; and 40 L/s for a kitchen or laundry.

FLOOR WASTE - falls between 1:50 – 1:80 to all floor wastes as per NCC Housing Provisions Clause 10.2.12.

SMOKE ALARM to AS3786 & NCC Housing Provisions Clause 9.5.2

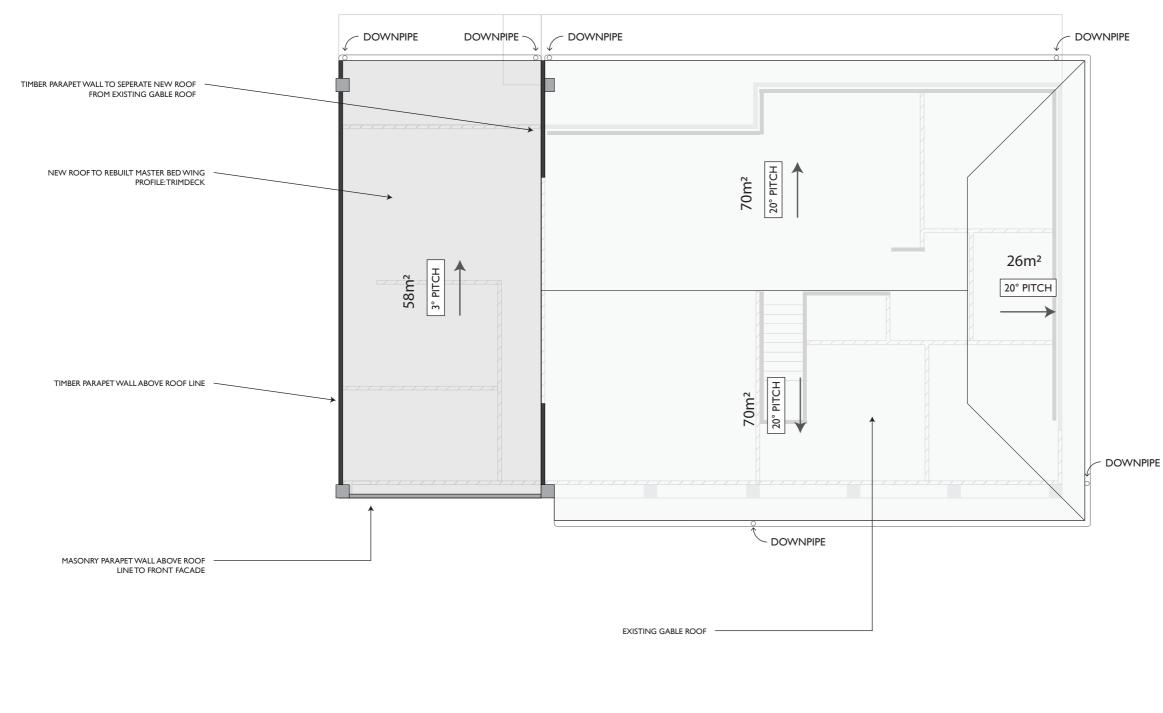
EXISTING WINDOW LOCATIONS

EXISTING EXTERNAL WALL TO BALCONY

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FIRST FLOOR PLAN

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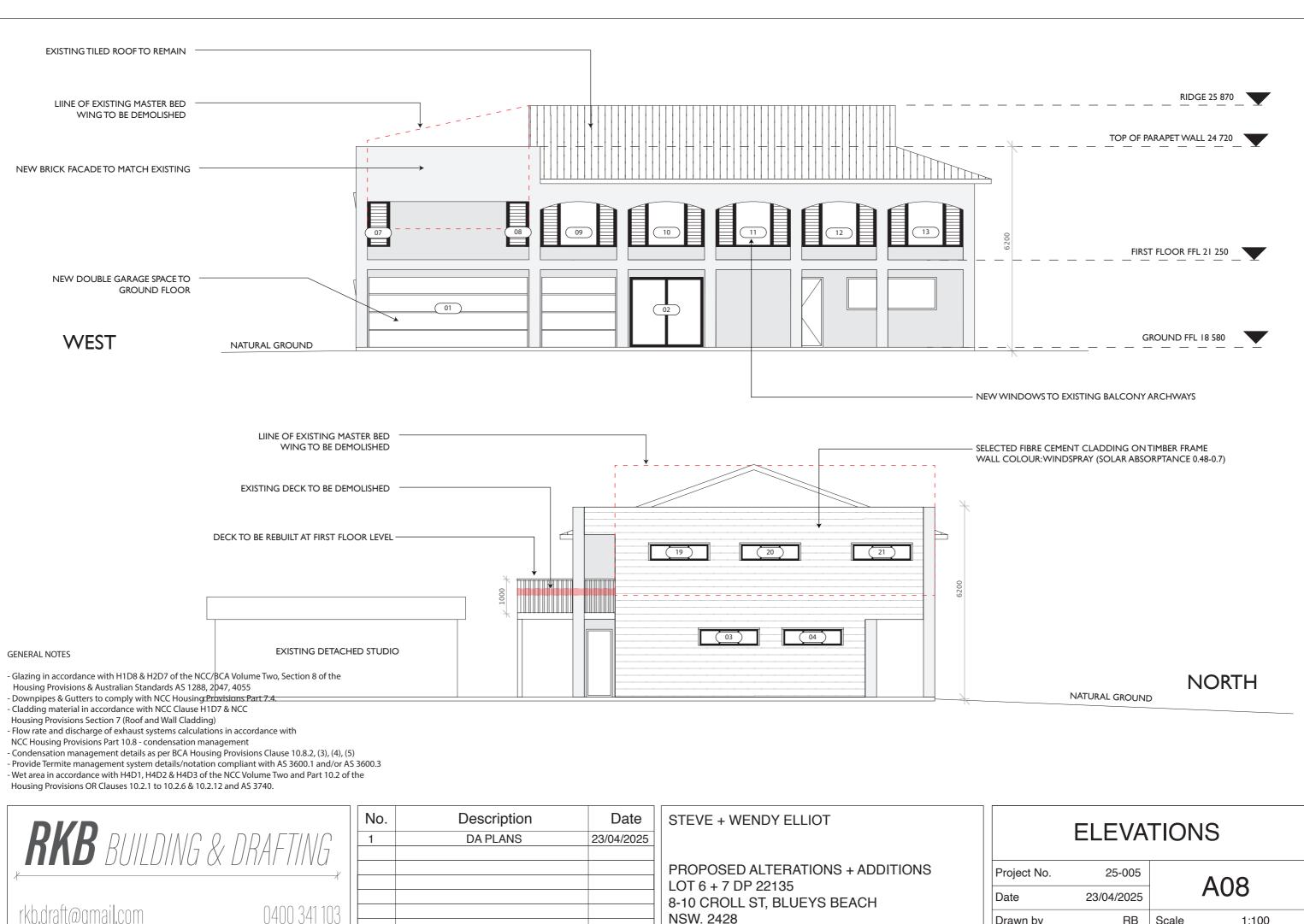


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- EACH DOWNPIPE TO SERVICE MAXIMUM 12m OF GUTTER & 45m² ROOF AREA - Downpipes & Gutters to comply with NCC Housing Provisions Part 7.4 - Roof colour: medium (solar absorptance 0.48-0.59)

ROOF PLAN

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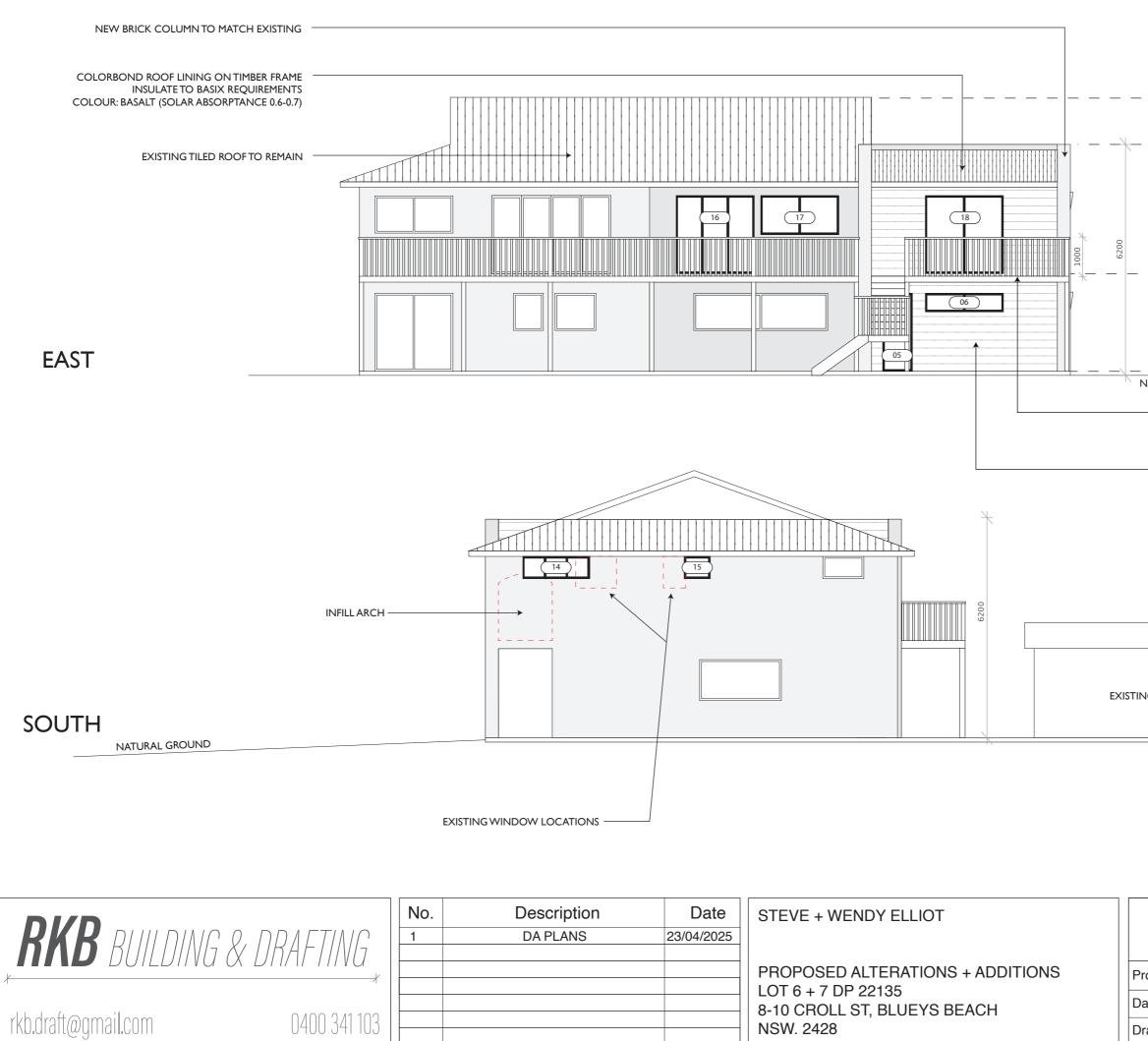
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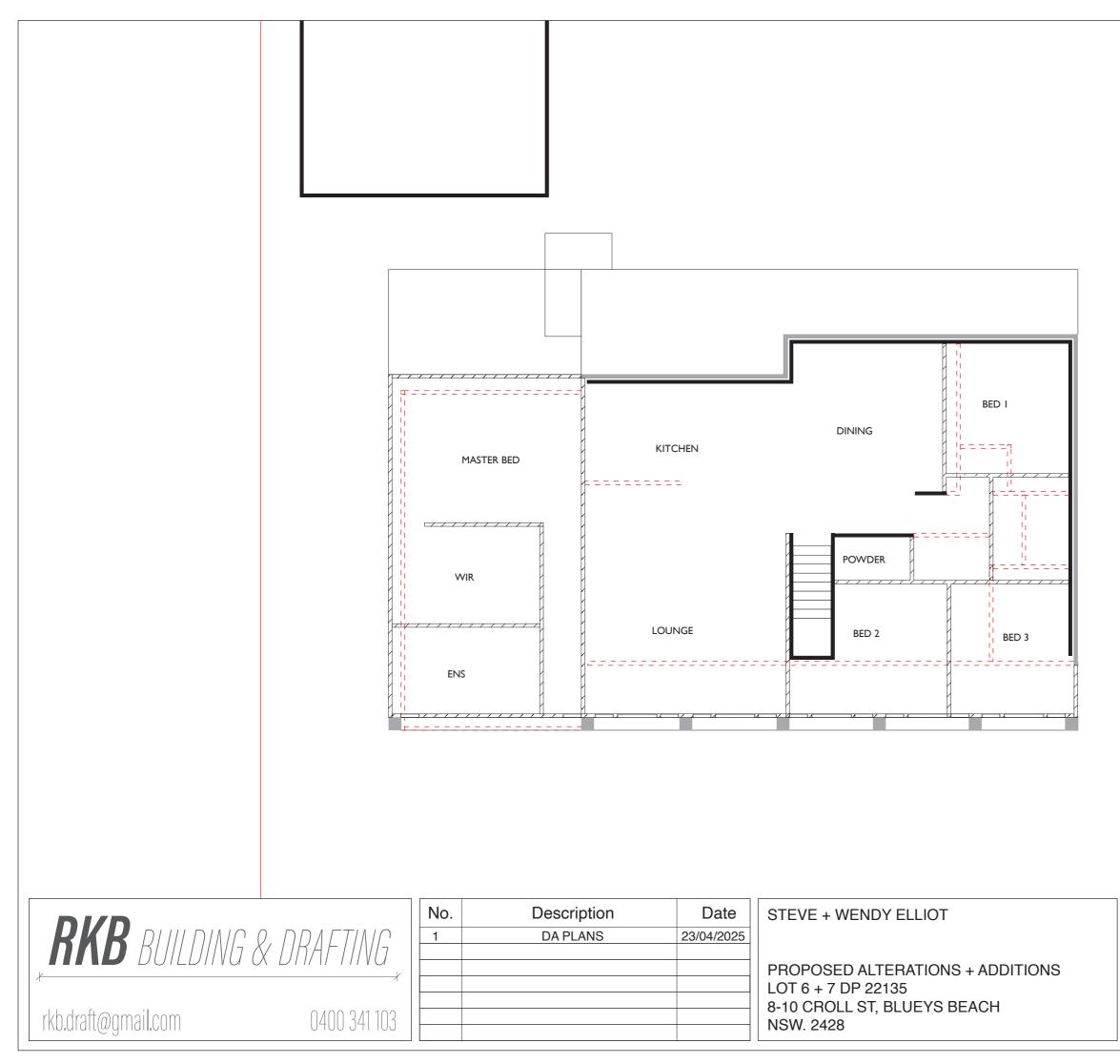
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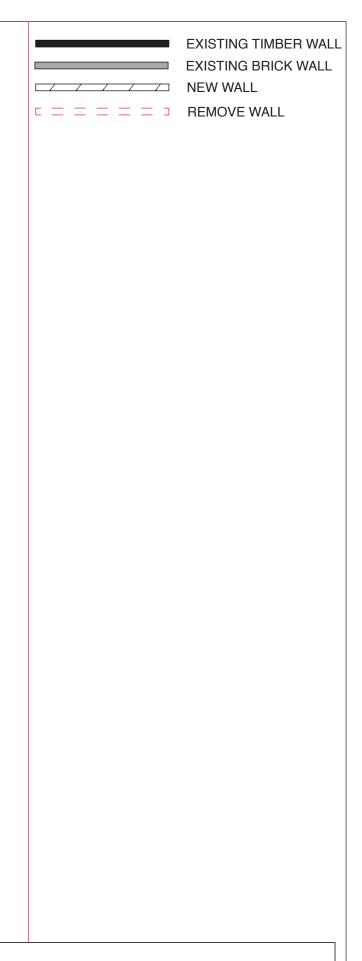
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			RIDGE 25 870
	TOP O	of Parapet — —	WALL 24 720
	F	IRST FLOO	R FFL 21 250
		GROUNE	D FFL 18 580
NATURAL GROUN			
— DECK TO BE R	EBUILT AT FIRST FL	OOR LEVE	L
	RE CEMENT CLADE		
WALL COLOU	JR:WINDSPRAY (SO	LAR ABSO	RPTANCE 0.48-0.7)
NG DETACHED ST	UDIO		
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FIRST FLOOR DEMO PLAN

Scale

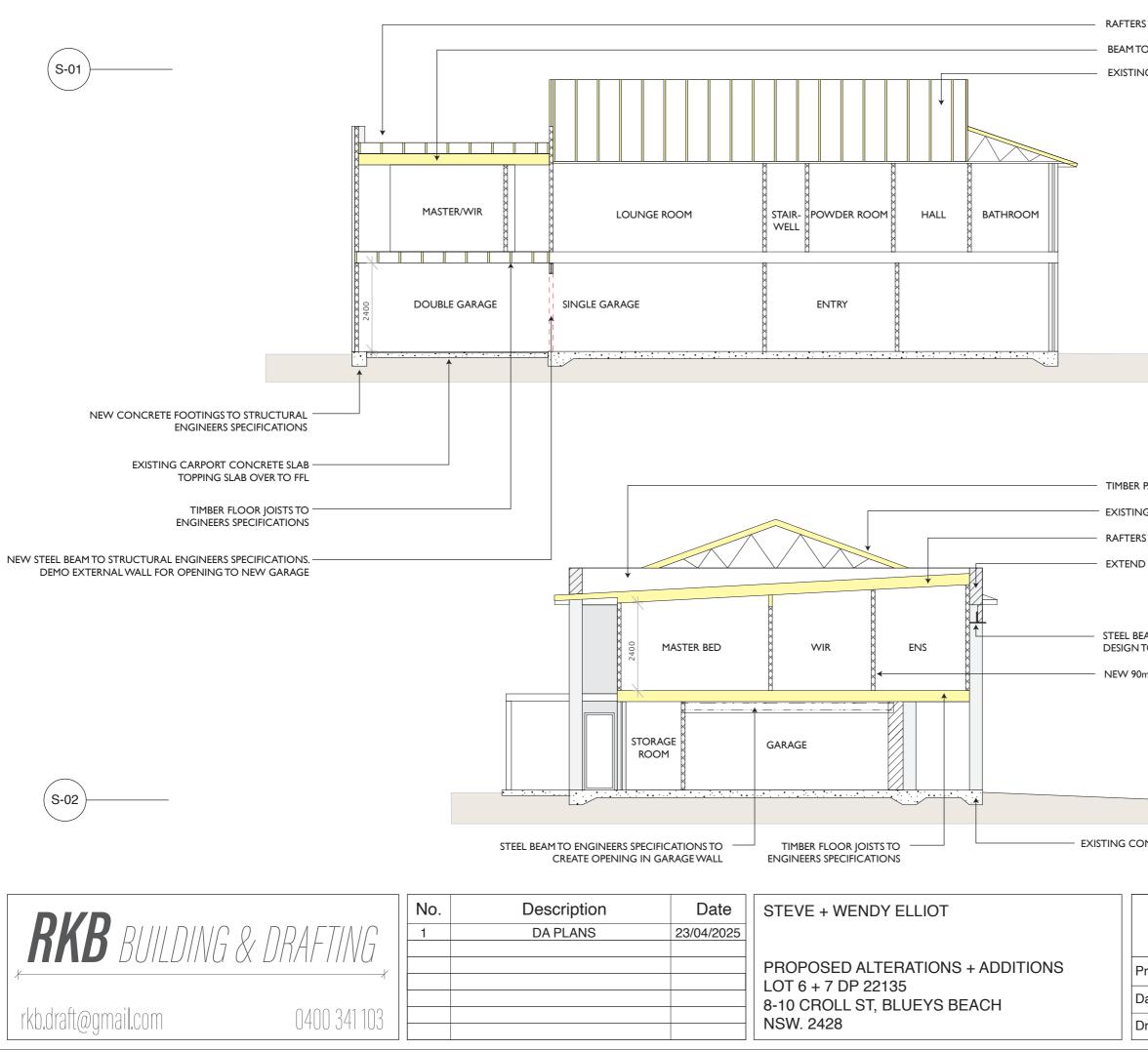
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25-005 23/04/2025

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RAFTERS TO MANUFACTURERS SPECIFICATIONS

BEAM TO ENGINEERS SPECIFICATIONS TO REDUCE RAFTER SPAN

EXISTING TRUSSES TO GABLE ROOF

TIMBER PARAPET WALL TO SEPARATE NEW ROOF FROM EXISTING

EXISTING ROOF TRUSSES

RAFTERS TO MANUFACTURERS SPECIFICATIONS

EXTEND EXISTING BRICK COLUMN FOR NEW FACADE

STEEL BEAM TO ENGINEERS SPECIFICATIONS DESIGN TO CREATE SUN HOOD TO BASIX REQUIREMENTS

NEW 90mm TIMBER STUD FRAMED WALLS

EXISTING CONCRETE SLABS AND FOOTINGS

SECTIONS								
25-005		ЛНА						
23/04/2025		A11						
RB	Scale	1:100						
	25-005 23/04/2025	25-005 23/04/2025						

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light- emitting-diode (LED) lamps.		~	~
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		~	~
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		~	~
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		~	

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ning Industry And Environment	ustry And Environment					
X Certificate number:A1793431					ра	
Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certif Chec	
Insulation requirements						
listed in the table below, except that a) addi	red construction (floor(s), walls, and ceilings, tional insulation is not required where the are of altered construction where insulation alrea	a of new construction is less than 2m2, b)	~	~	•	
Construction	Additional insulation required (R- value)	Other specifications				
suspended floor with open subfloor: concrete (R0.6).	R0.9 (down) (or R1.50 including construction)	N/A				
suspended floor above garage: framed (R0.7).	nil	N/A				
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)					
internal wall shared with garage: plasterboard (R0.36)	nil					
raked ceiling, pitched/skillion roof: framed	ceiling: R2.24 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)				

ing Industry And Environment	Building S	Sustainability Index www.ba	asix.nsw.gov
X Certificate number A1783431			page
Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	~	 	~
The following requirements must also be satisfied in relation to each window and glazed door:		~	~
Each window or glazed door with standard aluminium or timble frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gan Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCS must be calculated in accordance with National Fenestration Rating Council (WFC) conditions.		~	~
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	~	~	~
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.	~	~	~
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		~	~
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		~	~
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	~	 	~

EXTERNAL	WALL CONSTRUCTION	INSULATION				
FC CLADDIN	NG	R1.30 ROCKWOOL BATTS				
INTERNAL	WALL CONSTRUCTION	INSULATION				
PLASTERBO	ARD	NONE				
CEILING CO	ONSTRUCTION	INSULATION				
PLASTERBO	ARD	R2.24 ROCKWOOL BATTS				
ROOF CON	STRUCTION	INSULATION				
COLOURBO	ND	55mm FOIL BACKED	BLANKET			
FLOOR CO	NSTRUCTION	INSULATION				
	FLOOR ABOVE OPEN SUBFLOOR FLOOR ABOVE GARAGE	R I .5 INCLUDING CO NONE	NSTRUCTION			
WINDOWS	GLASS AND FRAME TYPE	UVALUE	SHGC			
	ALUMINIUM FRAMED SINGLE CLEAR	7.63	0.75			

LIGHTING

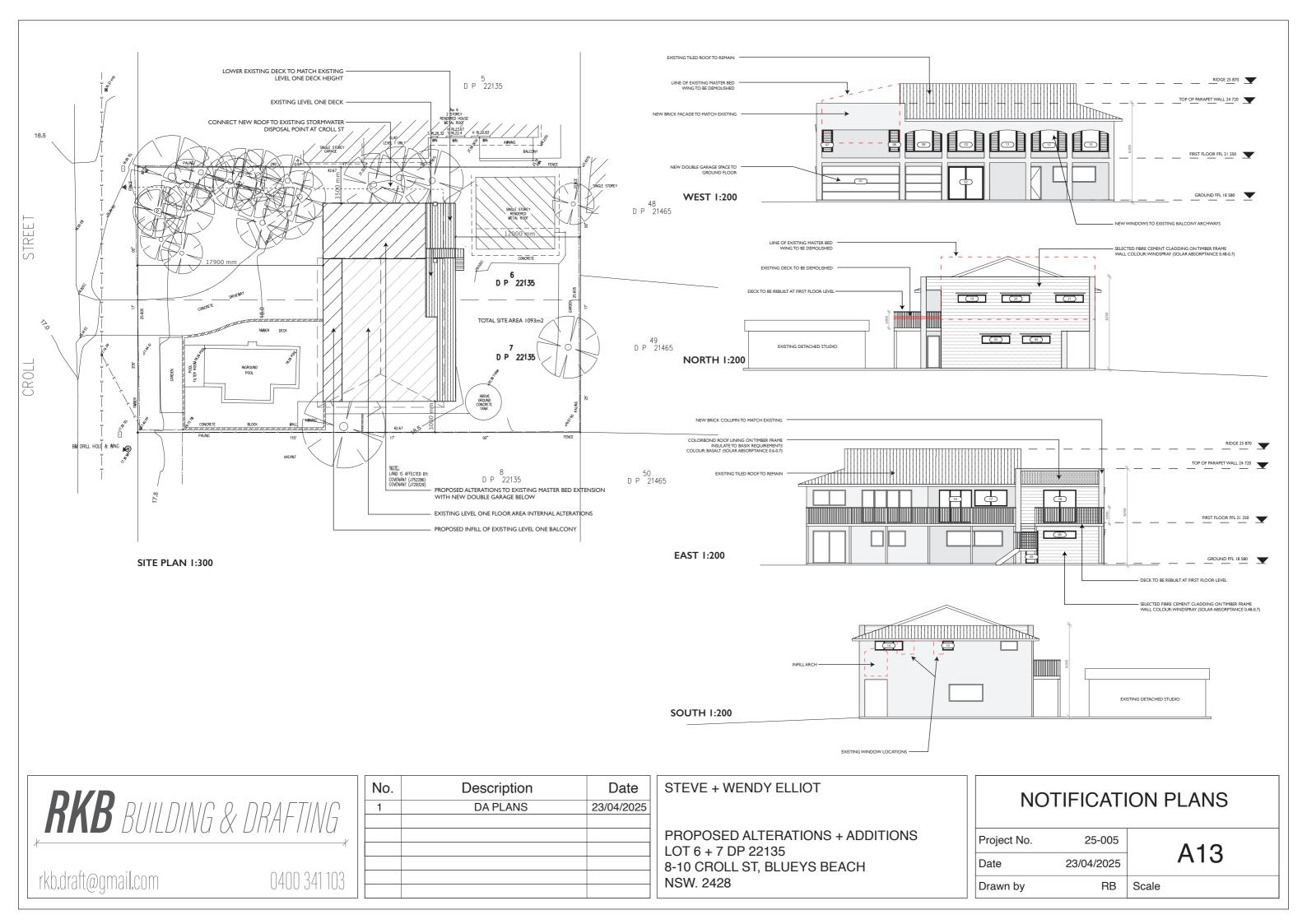
MINIMUM 40% OF LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESC

FIXTURES

SHOWERHEADS, MINIMUM 3 STAR RATING TOLIETS, MINIMUM 3 STAR RATING TAPS, MMINIMUM 3 STAR RATING

	No.	Description	Date	STEVE + WENDY ELLIOT	
KKK RIJII DING & DRAFTING	1	DA PLANS	23/04/2025		
				PROPOSED ALTERATIONS + ADDITIONS	P
				LOT 6 + 7 DP 22135 8-10 CROLL ST, BLUEYS BEACH	D
rkb.dratt@gmail.com 0400 341 103				NSW. 2428	D

COLOUR (SOLAR ABSORPTANCE)									
	MEDIU	IM							
	COLOUR (SOLA	AR ABSORPTANCE)							
MEDIUM									
	DETAILS								
ALL GI	AZED WIND	OWS & DOORS							
CENT OR .I	le.d. lamps								
D۸									
BAS		MITMENTS							
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EROSION & SEDIMENT CONTROL PLAN & NOTES

ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING CUTTING AND FILLING.

ALL SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED TO PREVENT SEDIMENT FROM LEAVING THE SITE OR ENTERING DOWNSTREAM PROPERTIES, DRAINAGE LINES OR WATERCOURSES.

DISTURBANCE OF THE SITE MUST BE MINIMISED.

A SEDIMENT CONTROL FENCE MUST BE INSTALLED AT THE DOWNSLOPE PERIMETER OF THE DISTURBED AREA TO PREVENT SEDIEMNT & OTHER DEBRIS FROM LEAVING THE SITE. SEDIMENT FENCING IS TO BE TRENCHED IN AT LEAST 150mm AND BURIED WITH ENDS TURNED UPSLOPE.

WHERE CATCHMENT AREA IS MORE THAN 0.5 HA DIRECT UP SLOPE RUNOFF AROUND THE SITE, BY THE USE OF A DIVERSION BANK OR CHANNELS. THESE DEVICES MAY REQUIRE MEASURES OF CONTROL EROSION DEPENDING ON THE VOLUME OF FLOW ANTICIPATED.

VEHICULAR ACCESS IS TO BE RESTRICTED TO ONE STABILISED ACCESS POINT WHICH IS TO BE CONSTRUCTED OF 40mm CRUSHED STONE AGGREGATE OR RECYCLED CONCRETE 150mm DEEP. 2.5 METRES WIDE & EXTEND FROM KERB LINE TO THE SLAB OR BUILDING LINE OR FOR AT LEAST 15m ON RURAL ALLOTMENTS.

STOCKPILES OF ERODABLE MATERIALS (SAND, SOIL, SPOIL & VEGETATION) MUST BE PROTECTED BY A SEDIMENT FENCE OR BUND. IF THE STOCKPILE AREA IS PRONE TO HIGH WINDS OR IS TO BE THERE FOR A LONG TIME THEN THE STOCKPILE MUST BE COVERED.

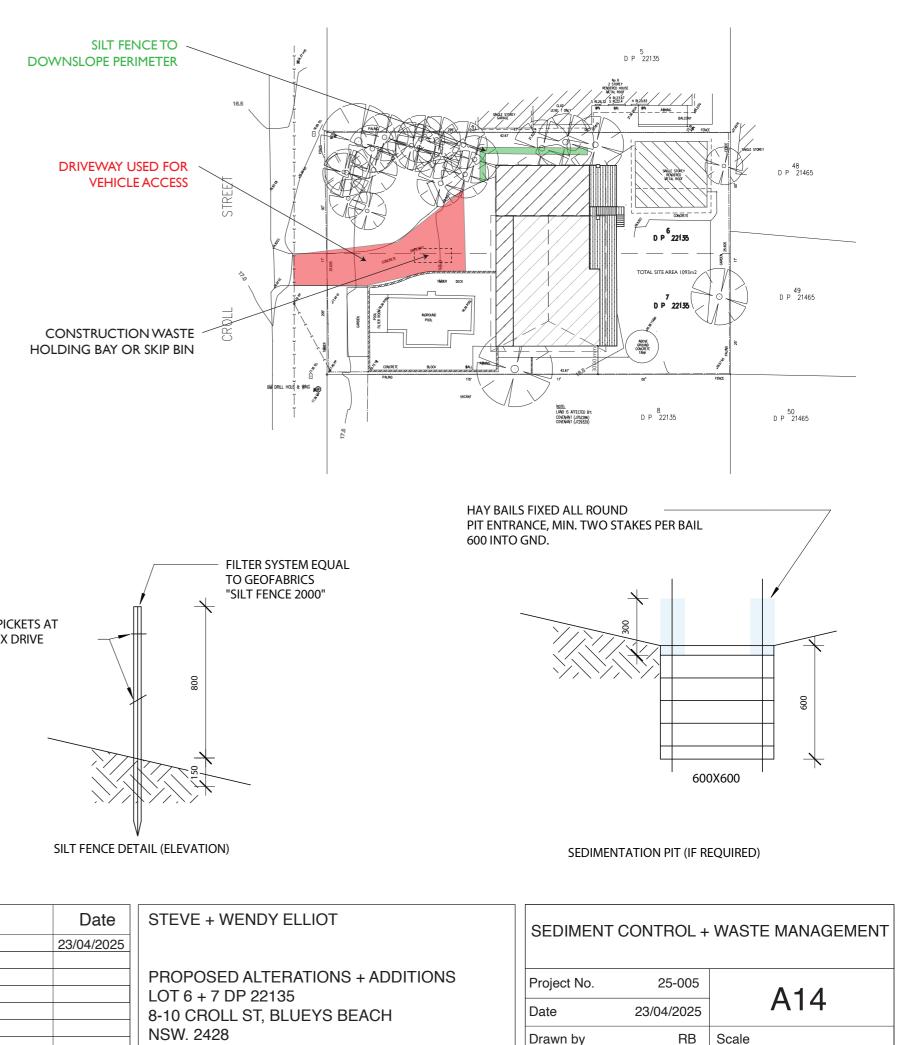
STOCKPILE MATERIAL MUST BE STORED CLEAR OF ANY DRAINAGE LINE & WITHIN THE PROPERTY BOUNDARY. NOTE: STOCKPILES ARE NOT PERMITTED ON FOOTPATHS OR ROADS.

IMMEDIATELY FOLLOWING INSTALLATION OF THE ROOF CLADDING, ALL GUTTERING AND DOWNPIPES ARE TO BE CONNECTED TO THE STORMWATER SYSTEM. INSPECTION OF THE FRAME IS NOT TO BE ARRANGED UNTIL THIS IS COMPLETED.

ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE REGULARLY MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES AN INSPECTED FOR ADEQUACY FOLLOWING ANY RAINFALL EVENT.

ALL TRENCHES WITHIN THE DEVOLPMENT SITE ARE TO BE BACKFILLED AND COMPACTED TO A LEVEL OF 75mm ABOVE ADJOINING GROUND LEVEL. THIS MAY NOT APPLY ON PUBLIC LAND, CONSULT WITH COUNCIL STAFF.

ALL DISTURBED AREAS ARE TO BE MADE EROSION RESISTANT BY REVEGETATION (IE MIN. 70% COVERAGE), TURFING OR STABILISED BY PAVING ON COMPLETION OF THE WORKS AND PRIOR TO OCCUPATION AND/OR USE OF THE BUILDING OR, ALL NECESSARY EROSION AND SEDIEMNT CONTROL DEVICES ARE TO BE LEFT IN PLACE



CONTRACTOR TO MAINTAIN SILT FENCE IN GOOD WORKING ORDER SECURED WITH PEGS FILTER SYSTEM EQUAL TO GEOFABRICS "SILT FENCE 2000" SECURED WITH PEGS		1400 LONG STAR PICKETS AT 3000 CENTRES MAX DRIVE 600 INTO GND	B00 B00
SILT	FENCE DETAIL (ALTERNATIVE)	SIL	۷ T FENCE DETAIL (ELEVATION).

	No.	Description	Date	STEVE + WENDY ELLIOT
RKR RIIII DINIC Q. DDAETINIC	1	DA PLANS	23/04/2025	
IIND DUILDING & DKAFIING				PROPOSED ALTERATIONS + ADDITIONS
* *				LOT 6 + 7 DP 22135
				8-10 CROLL ST, BLUEYS BEACH
rkb.draft@gmail.com 0400 341 103				NSW. 2428

ID	02	03	04	05	06	07	08	09		10	11	12
HEIGHT	2100	500	500	2100	500	1400	1400	1400		1400	1400	1400
WIDTH	2400	1800	1800	820	2100	500	500	2400		2400	2400	2400
AREA (sqm)	5.04	0.9	0.9	1.72	1.05	0.7	0.7	3.36		3.36	3.36	3.36
HEAD HEIGHT	2100	2100	2100	2100	2100	1800	1800	1800		1800	1800	1800
ELEVATION	,											
ID	13	14	15	16	17	18		19	20	21		
HEIGHT	1400	500	500	2100	1000	2100		500	500	500		
WIDTH	2400	1800	700	2100	2100	2100		1800	1800	1800		
AREA (sqm)	3.36	0.9	0.35	4.41	2.1	4.41		0.9	0.9	0.9		
HEAD HEIGHT	1800	2100	2100	2100	2100	2100		2100	2100	2100		
ELEVATION					,							

01/0	No.	Description	Date	STEVE + WENDY ELLIOT	
RKR RIIII NING & DALETING	1	DA PLANS	23/04/2025		\
IIIND DUILDING & DRAFIING				PROPOSED ALTERATIONS + ADDITIONS	
*				LOT 6 + 7 DP 22135	P
				8-10 CROLL ST, BLUEYS BEACH	Da
rkb.draft@gmail.com 0400 341 103				NSW. 2428	Di

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WINDOW & DOOR SCHEDULE

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ate	23/04/2025	
rawn by	RB	Scale

